

55

23107 100TH AVE W

PLANNING DATA

-- Signs --

STREET FILE

| Name: <u>Edward Jones</u> | | Date: <u>9-30-13</u> | | | | | |
|--------------------------------------------------------------------------|---------------------------------------------------------|--------------------------------------------------------|------------------------|------------------------------------|----------------------|---------------------------------------|--------------------|
| Site Address: <u>23107-100th Ave W</u> | | Plan Check #: BLD-2006- ^{8/10/13} <u>1041</u> | | | | | |
| Project Description: <u>2 - new non-illuminated wall signs</u> | | | | | | | |
| Reduced Site Plan Provided: (<input checked="" type="radio"/> YES / NO) | | Zoning: <u>BN</u> | | | | | |
| Comprehensive Plan Designation: <u>Community Commercial</u> | | | | | | | |
| Map Page: | Corner Lot: (YES / <input checked="" type="radio"/> NO) | Flag Lot: (YES / <input checked="" type="radio"/> NO) | | | | | |
| ADB File # (or date waived): | | | | | | | |
| TOTAL Area per Type of Sign | | | | | | | |
| | Type of Sign | Allowed in zone? | Matrix conditions met? | Allowed area per unit | Unit | TOTAL sign area allowed for this sign | Proposed sign area |
| Example | Wall w/internal illumination | Yes, with conditions | Yes | 1 sq. ft./linear ft. attached wall | 41 ft. attached wall | 41 square feet | 20 square feet |
| Sign #1 resurface existing sign | wall non-illum | | yes | 1 ft/linear ft attached wall | 23 | 23 ft | 17.5 ft |
| Sign #2 | wall non-illum | | yes | 1 ft/linear ft attached wall | 26'11" | 26'11" ft | 8 ft |
| Sign #3 | | | | | | | |
| TOTAL Sign Area for Tenant/Site | | | | | | | |
| Max Permitted: <u>130</u> | | Previous Total: <u>~47</u> | | Proposed Total: <u>~47</u> | | | |
| Sign Height | | | | | | | |
| Sign Type: <u>wall</u> | | Max Permitted: <u>14' of face of building</u> | | Actual Height: <u>7.5</u> | | | |
| Sign Type: <u>wall</u> | | Max Permitted: | | Actual Height: <u>7.5</u> | | | |
| Sign Type: | | Max Permitted: | | Actual Height: | | | |
| Sign Lighting | | | | | | | |
| Sign Type: | | Proposed: <u>non-illuminating</u> | | Allowed in Zone: <u>yes</u> | | | |
| Sign Type: | | Proposed: | | Allowed in Zone: | | | |

PLANNING DATA

-- Signs --

STREET FILE

Sign Colors

Proposed: *Green & white*

Acceptable? *yes*

Requires ADB Approval?

Sign Location

If freestanding and 3-feet or over (unless a fence) meets setbacks?

N/A

Required Setbacks

Street:

Side:

Side:

Rear:

Actual Setbacks

Street:

Side:

Side:

Rear:

Landscaping for Freestanding Signs

Size:

Location:

Critical Areas Determination #:

☐ Study Required

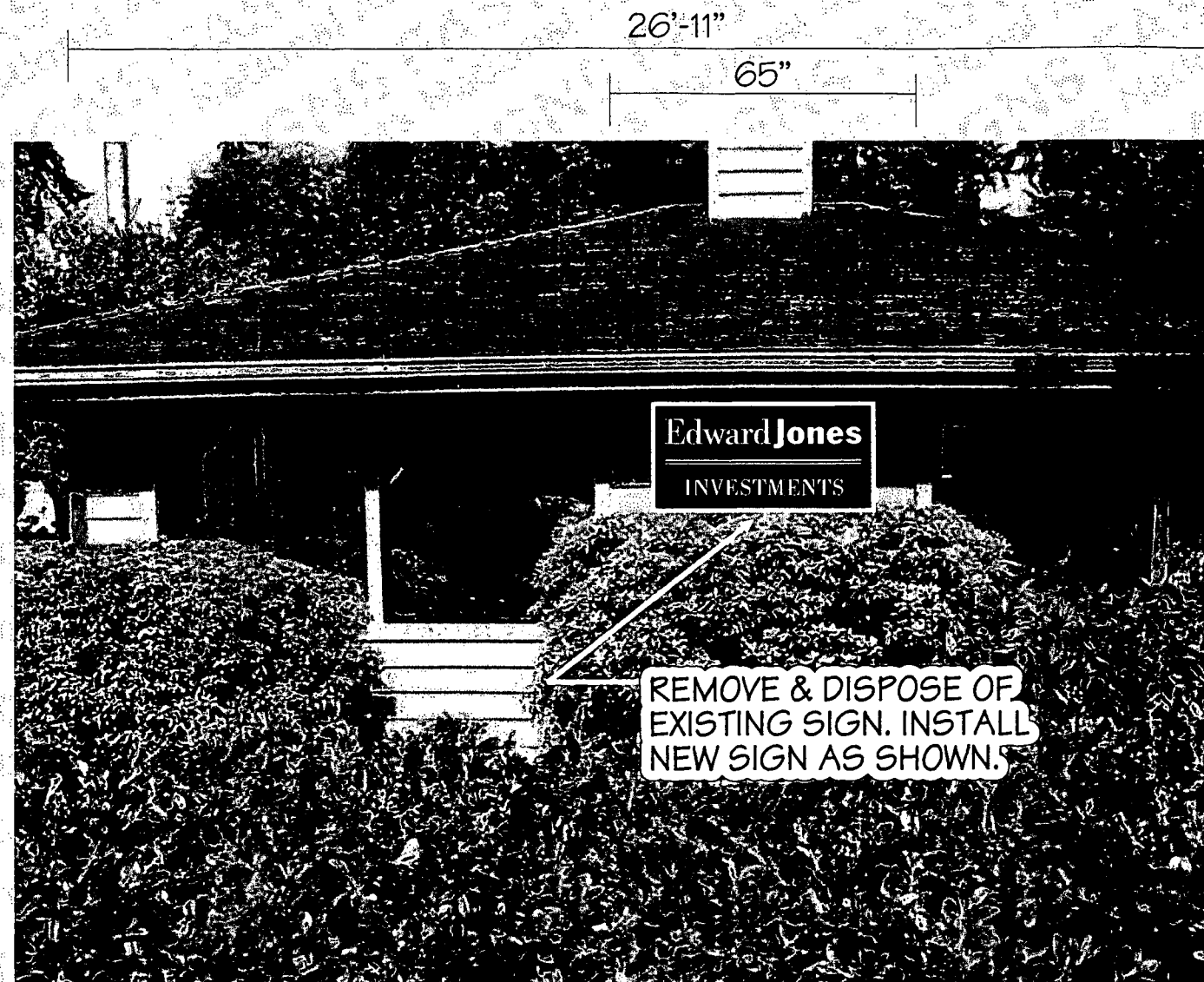
☐ Waiver

Other

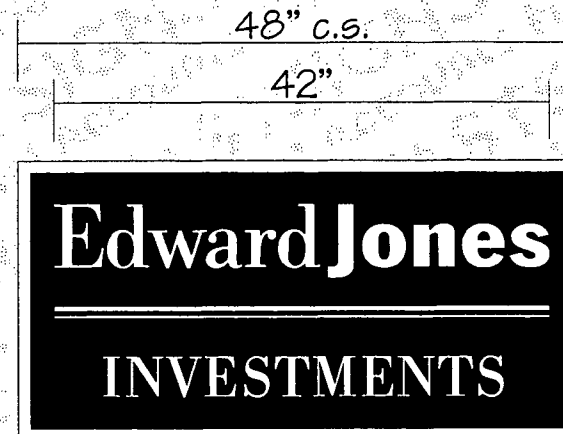
*Proposal is replacing to ex-sty wall
Signs*

Plan Review By:

APPROVED BY PLANNING
[Signature]
9-30-13



FRONT ELEVATION



DIBOND REPLACEMENT PANEL

- QTY. 1
- CUT SIZE 24"H x 48"W
- V.O. SIZE 24"H x 48"W
- S/F DIBOND PANEL
- BACKGROUND PTM PANTONE 5535
- LOGO IS WHITE
- 1" BORDER IS WHITE
- INSTALL AS SHOWN

CITY OF EDMONDS
BUILDING DEPARTMENT
WORK WALL SIGNS
ADDRESS 23107 100th AVE W
CITY OF EDMONDS
PERMIT DATE 9/30/13
P.G. OFFICIAL *[Signature]*

PERMIT NUMBER
20131041

| | |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------|
| FASTSIGNS NATIONAL ACCOUNTS | |
| ACCOUNT: EDWARD JONES | |
| BRANCH / FILE: 19137-ART2 | |
| FINANCIAL ADVISOR: | |
| ADDRESS: 23107 100th Avenue W Suite 1 Edmonds, WA | |
| ORIGINAL DRAWING DATE: 06/21/13 | |
| DRAWING NUMBER: 2 of 2 | SCALE: NTS |
| REV. #1 BY: | REV. DATE |
| REVISION NOTES | |
| REV. #2 BY: | REV. DATE |
| REVISION NOTES | |
| REV. #3 BY: | REV. DATE |
| REVISION NOTES | |
| CITY OF EDMONDS RECEIVED SEP 24 2013 DEVELOPMENT SERVICES CTR. CITY OF EDMONDS DRAWN BY: B. BUSE REVISED BY: | |
| THIS DRAWING IS THE PROPERTY OF FASTSIGNS INTERNATIONAL, INC. THE BORROWER AGREES, IT SHALL NOT BE REPRODUCED, COPIED OR DISPOSED OF, DIRECTLY OR INDIRECTLY, NOR USED FOR ANY PURPOSE WITHOUT PERMISSION. | |

LANDLORD
OR AGENT
SIGNATURE
HERE

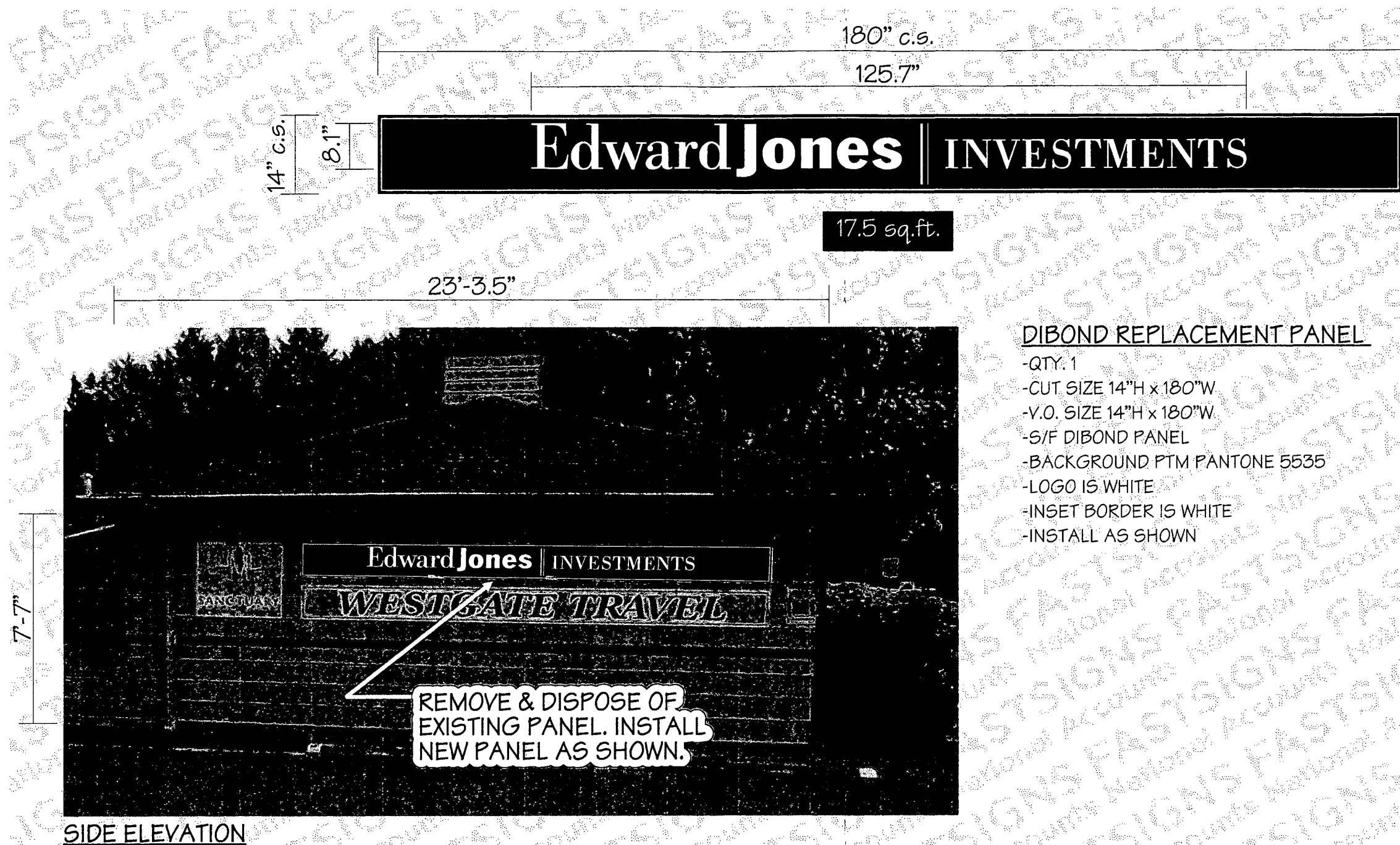
Please sign & return drawing/s to FASTSIGNS
Signature below indicates approval of BOTH design & placement of sign/s
X
DATE

DRAWING IS NOT TO SCALE BUT IS PROPORTIONATE

FIELD VERIFY ALL MEASUREMENTS BEFORE BEGINNING ANY WORK.
INSTALLER TO VERIFY MOUNTING SURFACE PRIOR TO INSTALLATION.

City of Edmonds Building Department
APPROVED PLAN

STREET FILE



DIBOND REPLACEMENT PANEL

- QTY. 1
- CUT SIZE 14"H x 180"W
- V.O. SIZE 14"H x 180"W
- S/F DIBOND PANEL
- BACKGROUND PTM PANTONE 5535
- LOGO IS WHITE
- INSET BORDER IS WHITE
- INSTALL AS SHOWN

LANDLORD
OR AGENT
SIGNATURE
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Please sign & return drawing/s to FASTSIGNS
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FASTSIGNS
NATIONAL ACCOUNTS

ACCOUNT:

EDWARD JONES

BRANCH / FILE:

19137-ART1

FINANCIAL ADVISOR:

ADDRESS:

23107 100th Avenue W
Suite 1
Edmonds, WA

ORIGINAL DRAWING DATE: 06/21/13

DRAWING NUMBER:
1 of 2

SCALE:
NTS

REV. #1 BY:

REV. DATE

REVISION NOTES:

REV. #2 BY:

REV. DATE

REVISION NOTES:

REV. #3 BY:

REV. DATE

REVISION NOTES:

RECEIVED

SEP 24 2013

DEVELOPMENT SERVICES CTR.
CITY OF EDMONDS

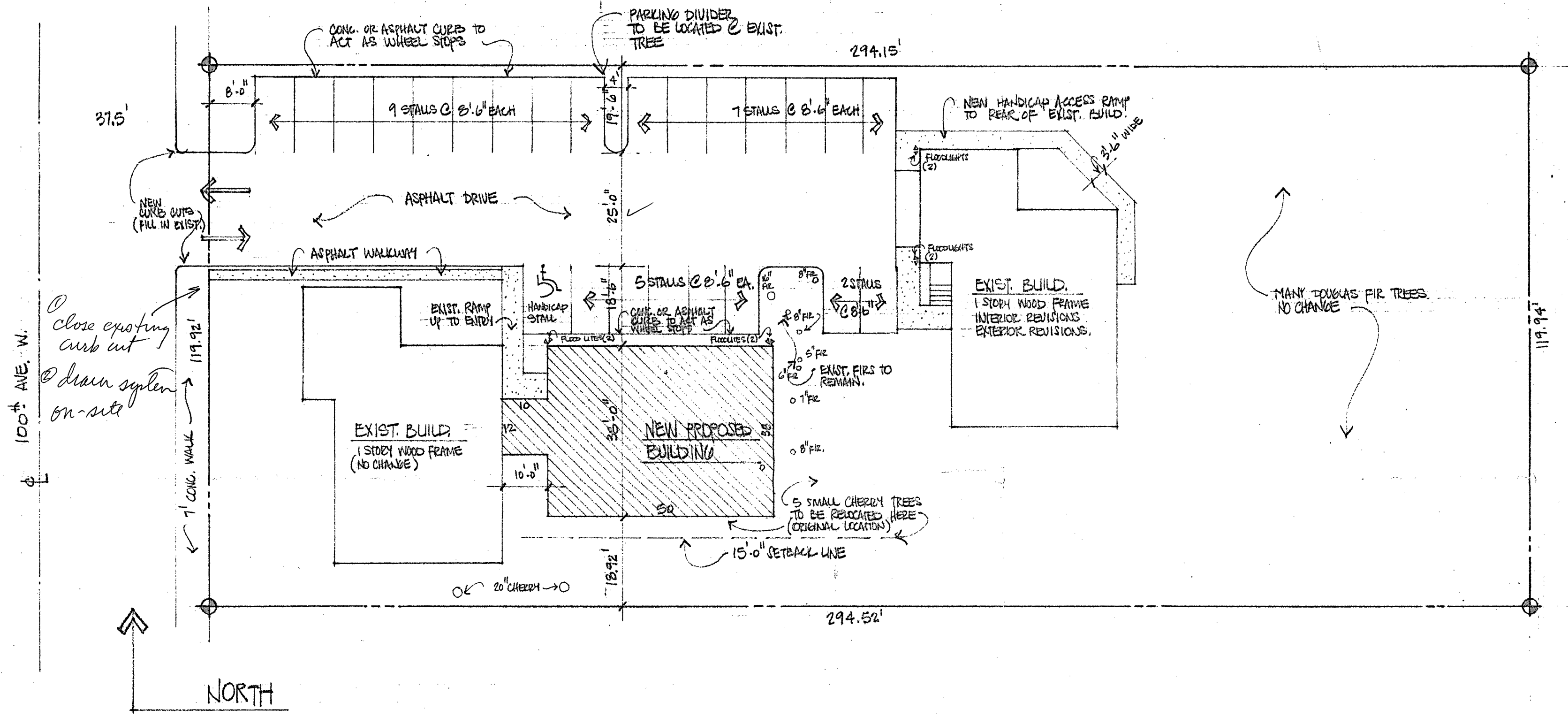
DRAWN BY: B. Busse

REVISED BY:

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Jordan Site Plan

STREET FILE



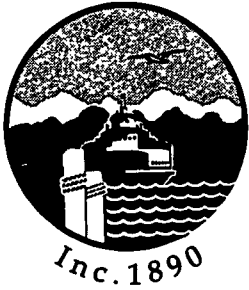
PLOT PLAN

- * FLOODLITES TO BE A DOUBLE FEATURE ON THE BUILDING AT THE CORNER AS NOTED.
- * NO NEW PROPOSED SIGNS. NO CHANGE TO EXIST. SIGN ON EXIST. BUILDING.
- * NO NEW PROPOSED CONTOUR LINES. AREA TO BE IMPROVED IS RELATIVELY FLAT.

1" = 20'

35325

| CITY OF EDMONDS CONSTRUCTION PERMIT APPLICATION | | DATE RECEIVED 6/21/01 | PERMIT EXPIRES 4/1/02 |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------|
| OWNER NAME (NAME OF BUSINESS) GLENNIGATE - EDWARD JONES MAILING ADDRESS 23107 100th Ave W, Suite 1 City: EVERETT WA 98208 425-778-1210 | | USE ZONE BN PERMIT NUMBER 2001-0745 | |
| ARCHITECT FAST SIGNS - JOSEPH JOHNSTON Address: 2550 MIDWAY ROAD, SUITE 150 City: CARROLLTON TX 75006 800-827-7446 | | JOB ADDRESS 23107 100th Ave W | |
| CONTRACTOR MIKES NEON SIGNS - MIKE COLE Address: 2316 100th St SE City: EVERETT WA 98208 425-750-0824 | | PLAT NAME/SUBDIVISION NO LOT NO. LID NO. | |
| LEGAL PROPERTY TAX ACCOUNT PARCEL NO. 00 3414 100 002 00 | | PUBLIC RIGHT OF WAY PER OFFICIAL STREET MAP EXISTING PROPOSED REQUIRED DEDICATION FT | |
| <input checked="" type="checkbox"/> NEW <input type="checkbox"/> RESIDENTIAL <input type="checkbox"/> PLUMBING / MECH <input type="checkbox"/> ADDITION <input checked="" type="checkbox"/> COMMERCIAL <input type="checkbox"/> COMPLIANCE OR CHANGE OF USE <input type="checkbox"/> REMODEL <input type="checkbox"/> APARTMENT <input checked="" type="checkbox"/> SIGN <input type="checkbox"/> REPAIR <input type="checkbox"/> GRADING CYOS <input type="checkbox"/> FENCE <input type="checkbox"/> OTHER () FT <input type="checkbox"/> DEMOLISH <input type="checkbox"/> TANK <input type="checkbox"/> RENEWAL <input type="checkbox"/> GARAGE CARPORT <input type="checkbox"/> RETAINING WALL <input type="checkbox"/> RENEWAL | | REMARKS OWNER/CONTRACTOR RESPONSIBLE FOR EROSION CONTROL/DRAINAGE | |
| TYPE OF USE, BUSINESS OR ACTIVITY EXPLAIN: INVESTMENT COMPANY / Comm | | ENGINEERING REVIEWED DATE | |
| NUMBER OF STORIES 1 NUMBER OF DWELLING UNITS N/A CRITICAL AREAS NUMBER N/A | | FIRE REVIEWED BY DATE | |
| DESCRIBE WORK TO BE DONE INSTALL - 1 - ALUMINUM 24" x 24" NON ILLUMINATED PLAQUE SIGN ON WALL AND INSTALL FLAT CUT OUT ALUMINUM LETTERS NON ILLUMINATED ON WALL | | VARIANCE OR CU SHORELINE OR (DB) INSPECTION REQD <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO BOND POSTED | |
| HEAT SOURCE GLAZING % LOT SLOPE % | | SEMI REVIEW COMPLETE <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO SIGN AREA ALLOWED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO HEIGHT PROPOSED | |
| PLAN CHECK NO: 01-229 VESTED DATE | | EXP 130th 21st | |
| THIS PERMIT AUTHORIZES ONLY THE WORK NOTED. THIS PERMIT COVERS WORK TO BE DONE ON PRIVATE PROPERTY ONLY. ANY CONSTRUCTION ON THE PUBLIC DOMAIN (CURBS, SIDEWALKS, DRIVEWAYS, MARQUEES, ETC.) WILL REQUIRE SEPARATE PERMISSION. | | LOT COVERAGE ALLOWED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO REQUIRED SETBACKS (FT) FRONT SIDE REAR PROPOSED SETBACKS (FT) FRONT SIDE REAR | |
| PERMIT APPLICATION: 180 DAYS PERMIT LIMIT: 1 YEAR - PROVIDED WORK IS STARTED WITHIN 180 DAYS SEE BACK OF PINK PERMIT FOR MORE INFORMATION | | PARKING PROVIDED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO LOT AREA PLANNING REVIEWED BY DATE | |
| APPLICANT, ON BEHALF OF HIS OR HER SPOUSE, HEIRS, ASSIGNS AND SUCCESSORS IN INTEREST, AGREES TO INDEMNIFY, DEFEND AND HOLD HARMLESS THE CITY OF EDMONDS, WASHINGTON, ITS OFFICIALS, EMPLOYEES AND AGENTS FROM ANY AND ALL CLAIMS FOR DAMAGES OF WHATEVER NATURE, ARISING DIRECTLY OR INDIRECTLY FROM THE ISSUANCE OF THIS PERMIT. ISSUANCE OF THIS PERMIT SHALL NOT BE DEEMED TO MODIFY, WAIVE OR REDUCE ANY REQUIREMENT OF ANY CITY ORDINANCE NOR LIMIT IN ANY WAY THE CITY'S ABILITY TO ENFORCE ANY ORDINANCE PROVISION. | | REMARKS PROGRESS INSPECTIONS PER UBC 108/FINAL INSPECTION REQ'D FINAL INSP. REQUIRED | |
| I HEREBY ACKNOWLEDGE THAT I HAVE READ THIS APPLICATION, THAT THE INFORMATION GIVEN IS CORRECT, AND THAT I AM THE OWNER, OR THE DULY AUTHORIZED AGENT OF THE OWNER. I AGREE TO COMPLY WITH CITY AND STATE LAWS REGULATING CONSTRUCTION, AND IN DOING THE WORK AUTHORIZED THEREBY, NO PERSON WILL BE EMPLOYED IN VIOLATION OF THE LABOR CODE OF THE STATE OF WASHINGTON RELATING TO WORKMEN'S COMPENSATION, UNEMPLOYMENT AND RCW 18.27. | | CHECKED BY TYPE CONSTRUCTION CODE OCCUPANT GROUP | |
| SIGNATURE (OWNER OR AGENT) DATE SIGNED 6-21-01 | | SPECIAL INSPECTOR REQUIRED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO AREA OCCUPANT LOAD | |
| ATTENTION IT IS UNLAWFUL TO USE OR OCCUPY A BUILDING OR STRUCTURE UNTIL A FINAL INSPECTION HAS BEEN MADE AND APPROVAL OR A CERTIFICATE OF OCCUPANCY HAS BEEN GRANTED. UBC SECTION 109 | | REMARKS VALUATION FEE PLAN CHECK FEE BUILDING BASE 120- MECHANICAL 42- GRADING/FILL WHITE SURCHARGE 5- ENG. REVIEW FEES ENG. INSPECTION FEE LANDSCAPING INSPECTION FEE -PLAN CHECK DEPOSIT RECEIPT 7827-120- TOTAL AMOUNT DUE RECEIPT 78415 47- APPLICATION APPROVAL This application is not a permit until signed by the Building Official or their Deputy, and Fees are paid, and receipt is acknowledged in space provided. OFFICIAL'S SIGNATURE DATE N. J. Benner RELEASED BY DATE 6/27/01 ORIGINAL - FILE - YELLOW - INSPECTOR PINK - OWNER - GOLD - ASSESSOR | |



CITY OF EDMONDS

121 5TH AVENUE NORTH • EDMONDS, WA 98020 • (425) 771-0220 • FAX (425) 771-0221
Website: www.ci.edmonds.wa.us

DEVELOPMENT SERVICES DEPARTMENT
Planning • Building • Engineering

GARY HAAKENSON
MAYOR

November 6, 2001

STREET FILE

Gary Jones
Westgate Travel
PO Box 730
Edmonds, WA 98020

RE: Zoning Confirmation Request

Dear Gary,

I received your letter of October 31st requesting clarification to the allowable uses at 23103, 23105, and 23107 100th Avenue West. The property was rezoned from single-family residential (RS-8) to Neighborhood Business (BN) via rezone file number R-4-88. The recorded *Agreement and Covenants* specific to R-4-88, as signed by the property owner and city representatives, are enclosed.


The agreement states that only single family residences and professional offices will be allowed on the property. Beginning at the bottom of page 4, please refer to number 4. "In consideration of Edmonds reclassifying the subject real property from RS-8 to BN, and for so long as the property remains so classified, Owner covenants to limit the use of such property to a single family residence or professional offices, as defined by Section 12.12.170 of the Edmonds City Code, as now exists or as may hereafter be recodified."

The Edmonds City Code Section 12.12.170 has been superceded by the Edmonds Community Development Code (ECDC) Chapter 21. Chapter 21 no longer contains a definition of *professional offices*. However, it does contain a definition of *office*. The ECDC 21.75.010 states, "Office means a building or separately defined space within a building used for a business which does not include on-premises sales of goods or commodities."

The role of a travel agency typically involves sales of services, not goods or commodities. Provided that your business meets the office *definition*, it is staff's opinion that your use is an allowable use at the site of 23103, 23105, and 23107 100th Avenue West.

I trust this letter meets your request for clarification. If you have any further questions, please contact me at 425.771.0220.

Thank you,


Kathleen Taylor, Planner

Enclosure

STREET FILE

DRAINAGE PLAN

LANDAU ASSOC
23107 100TH AVE W
EDMONDS WA

CONTENTS

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DRAINAGE "PLOT" PLAN

F16 2

STANDARD "INFILTRATION SYSTEM

ANALYSES

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TRENCH CAPACITY

APPENDIX

PERC. TEST AND LOG TH-1

PERC. TEST AND LOG. TH-2



H. Landau

RECEIVED
DEC 23 1985
ENGINEERING

✓ J. Harth

FILE COPY

Landau Assoc Storm Water Control Plan

Additions

| | | | | |
|--------------------|-------------------------|---|-------------|------|
| New Bldg | 38' x 50' | = | 1900 | S.F. |
| Asphalt Drive | 25' x 191' | = | 4775 | S.F. |
| South Parking Area | (42.5 + 10 + 17) x 18.5 | | 1286 | S.F. |
| | | | <u>7961</u> | ✓ |

Deletions (below footprint for new facilities)

| | | | | |
|-------------------------|------------|---|-------------|--------|
| Existing Asphalt Drive | 11' x 156' | = | 1716 | S.F. |
| Existing Concrete Drive | 5' x 64' | | 320 | S.F. |
| | | | <u>2036</u> | S.F. ✓ |

Net (Additions - Deletions) 5925 S.F. ✓

Possible Future Addition

North Parking Area (136 x 19.5) = 2652 S.F. ✓

Assumption:

Base design on conservative assumption that entire area could be paved; Therefore assume
 $5925 + 2652 = 8577$ ✓ S.F. of less previous cover

Pave. Rate

T.H. 1 ; 3 min/in } see Appendix for test results
 T.H. 2 ; 6.8 min/in

Ave \approx 5 min/in

Calculation of $\Delta I A$ for Proposed Modifications

| | Proposed | | | Existing | | | $\Delta C A$ |
|---------------|----------|----------------------|------------------------|----------|----------------------|------------------------|----------------------|
| | C | A ft ² | C-A ft ² | C | A ft ² | C-A ft ² | ft ² |
| New Building | .9 | 1900 | 1710 | .75 | 840 | 630 ✓ | |
| gravel | | | | .2 | 1060 | 212 ✓ | |
| grass | | | | | | 842 ✓ | 842 ✓ |
| sub total | | | 1710 ✓ | | | | |
| Asphalt Drive | .9 | 4775 | 4298 | .9 | 2036 | 1832 ✓ | |
| Exist drive | | | | .2 | 2739 | 548 ✓ | |
| grass | | | | | | 2380 ✓ | 1918 ✓ |
| sub total | | | 4298 ✓ | | | | |
| North Parking | .9 | 2652 | 2387 | .2 | 2652 | 530 ✓ | |
| grass | | | | | | 530 ✓ | 1857 ✓ |
| sub total | | | 2387 ✓ | | | | |
| South Parking | .9 | 1286 | 1157 | .2 | 1286 | 257 ✓ | |
| grass | | | | | | 257 ✓ | 900 ✓ |
| sub total | | | 1157 ✓ | | | | |
| Total | | | | | | | 5543 ft ² |
| | | | | | | | = .127 acres |

For intensity I use isopleth map in Sno. Co. Drainage Manual for 25 yr 6 hr storm

$$I = 1.5'' \text{ in } 6 \text{ hr or } .25 \text{ in/hr}$$

∴ storage / Infiltration requirements for design storm based on change in degree of perviousness.

$$\Delta Q = \Delta(CIA) = I \cdot \Delta I A = .25 \frac{\text{in}}{\text{hr}} \times .127 \text{ acres} = .0317 \frac{\text{acre in}}{\text{hr}}$$

$$(1 \text{ ac/in/hr} \approx 1 \text{ cfs}) \quad \approx .0317 \text{ cfs}$$

∴ for 6 hr storm

$$\text{Storage / Infiltration Required} = .0317 \text{ cfs} \times 6 \text{ hr} \times 3600 \frac{\text{sec}}{\text{hr}}$$

$$= 685 \text{ cubic feet}$$

Infiltration System Assumptions

Use perc rate of 5 min/in

Assume standard Edmonds system 2' base x 1.67' ht

Perform initial calculations unit trench length of 100'

Calculate storage Vol per 100 ft trench (porosity $n = .3$)

$$Vol = (Pipe + gravel \times n) L$$

$$\left[\frac{\pi 4.7^2}{4} \times \frac{1}{144} + \left(2' \times 1.67' - \frac{\pi 0.2^2}{4} \right) \cdot 3 \right] 100'$$

$$Storage = [.087 + (3.25) \cdot 3] 100 = 106.3 \text{ ft}^3$$

Infiltration

Per Sno Co Drainage Manual - Assume side walls are 1/2 as effective as trench base

Extrapolate from perc test

6" ϕ hole with 8" ht (2" gravel + water)

$$Effective \text{ Area} = \frac{\pi D^2}{4} + \frac{1}{2} (\pi D h)$$

$$= \pi \frac{36}{4} + \frac{1}{2} \pi 6 \cdot 8$$

$$28.26 + 75.36 = 103.62 \text{ in}^2 = .719 \text{ ft}^2$$

$$\begin{aligned} \text{At infiltration rate of } 5 \text{ min/in} &= .2''/\text{min} \\ \text{loose } .2''/\text{min} &= .2'' \times \frac{\pi 0.2^2}{4} = 5.6 \text{ in}^3/\text{min} \\ &= .00327 \text{ ft}^3/\text{min} \end{aligned}$$

$$\therefore \text{ loose } .00327 \text{ ft}^3/\text{min} / \text{per } .719 \text{ ft}^2 \text{ effective area}$$

$$= .00455 \text{ ft}^3/\text{ft}^2/\text{min}$$

$$= 1.64 \text{ ft}^3/\text{ft}^2/6 \text{ hr.}$$

$$\text{Infiltration from } 100' \text{ trench} = 1.64 \frac{\text{ft}^3}{\text{ft}^2} (6 \text{ hr}) \times (2' + 1.67') 100' = 601.9 \frac{\text{ft}^3}{6 \text{ hr.}}$$

$$\therefore \text{ Storage + Infiltration per } 100' \text{ trench} = 106.3 + 601.9 = 708.2 \text{ ft}^3$$

Office Drainage Study

①

A-1

JTK

12/17/85

sidewalks

TP-1

- I. Excavated pit to depth of 25.5 in.; 6 in. diameter pit with scraped
- II. Soils encountered:
0'-1': Brown silty fine sand with trace organics
- 1'-2.1': Rust brown fine to medium sand with a trace of silt
- III. Placed 2 in. of 1"-2" washed gravel at base of pit
- IV. Added water to a height of 6 in. above gravel.
- V. Water percolated completely out of pit in less than 20 minutes.
- VI. Refilled pit with water to 6 in. above gravel.
- VII. Measured with a stopwatch amount of time for a 2 in. drop in water surface.
- VIII. Resulting perc rate calculated as:
3 min./in.

∴ 21 ft. Srench Length required per 1000 ft. contributing area

A-1

Infiltration trench

$$\text{For } 5000 \text{ s.f. need } 25 \times \frac{5000}{1000} = 125 \text{ cf}$$

Storage vol for 4" pipe in 2' x 1.5' gravel

$$n = 0.3$$

$$V = \left[\frac{\pi D^2}{4} \times \frac{1}{144} + (2' \times 1.67' \times A) \cdot n \right] L$$

$$[0.087 + 3.34 \cdot 0.087] \cdot 125$$

$$[0.087 + 0.290] \cdot 125 = 132.8 \text{ cf}$$

Detention pipe

$$\text{For } 5000 \text{ s.f. req vol} = 125 \text{ cf}$$

For infiltration p 62 Sm Co

Total gravel water infiltrated during 6 hr

for 5000 s.f.

Trench bottom + $\frac{1}{2}$ sides

$$[2 + \frac{1}{2} (1.67 + 1.67)] \cdot 125$$

$$(3.67) 125 = 459 \text{ s.f.}$$

H
21 Dec 85

TH-2 Back lot

0-18" Gray fine to coarse sand with some gravel
 18"-36" Reddish brown fine to med slightly silty sand

Excavated hole to 36" - Soaked with 4-5 gal tap water
 placed 2" Gravel + coarse sand on bottom

| Time | Time elapsed | depth |
|-------|--------------|-------|
| 12:13 | 0 | 28.25 |
| 14 | 1 | 28.5 |
| 15 | 2 | 28.75 |
| 16 | 3 | 29 |
| 17 | 4 | 29.3 |
| 12:18 | 5 | 29.5 |
| 12:23 | 10 | 30.0 |
| 12:28 | 15 | 30.25 |
| 12:30 | 17 | 30.75 |

$$\text{Resulting Perc Rate} = \frac{2.5 \text{ in}}{17 \text{ min}} = 6.8 \text{ mm/in}$$

STANDARD DRAINAGE PLAN

INFILTRATION SYSTEM

for LANDAU ASSOC.
 location 23107 100th AVE W
EDMONDS WA
 plan by H LANDAU
 phone 778 0907
 date 22 DEC 85

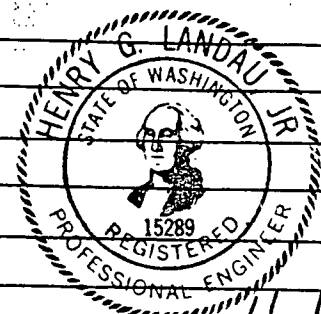
DESIGN DATA

| Trench Number | Perc Rate | LF per 1000 sq.ft. | Imperm Area | Trench Req. |
|---------------|----------------------|--------------------|-------------|-------------|
| A-B | 3 $\frac{min}{in}$ | | | |
| B-C | 6.8 $\frac{min}{in}$ | | | |
| | | | | |
| | | | | |

Trenches to act as 1 unit
See Fig 1 and Analyses

NOTES

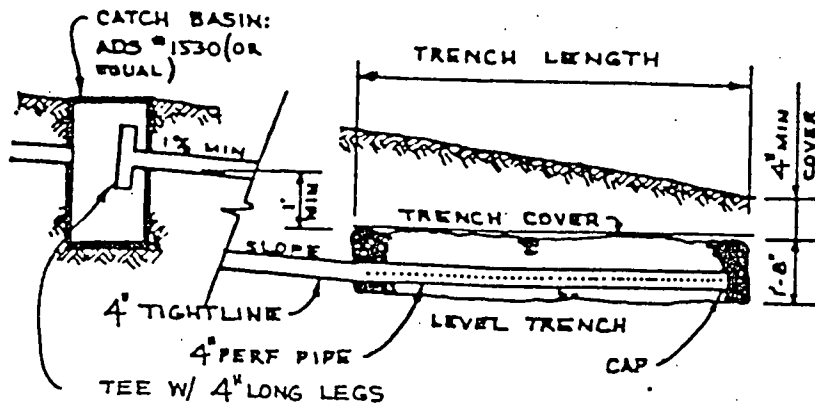
1. Call Engineering Division (771-3202) for prebackfill and final inspections.
2. Responsibility for operation and maintenance of drainage systems on private property is the responsibility of the property owner(s). Preventive maintenance consists of preventing soil and other materials from entering trench during construction as well as after construction. Catch basins should be cleaned of floating material and sediment at regular intervals (at least twice per year).



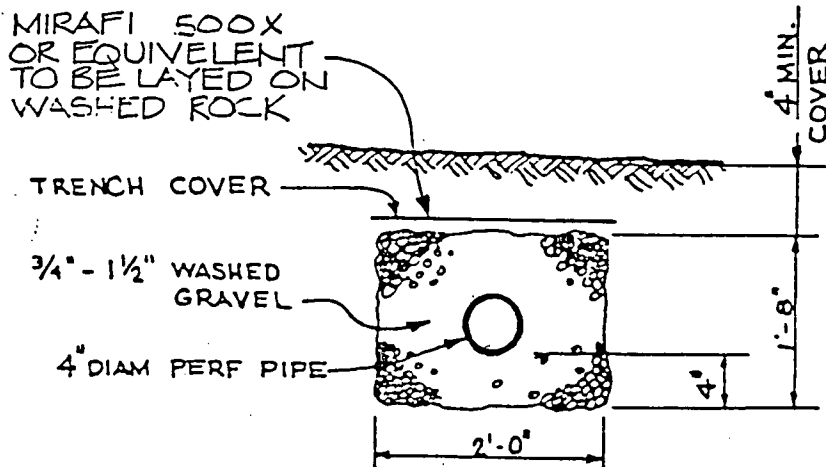
H. Landau



CITY OF EDMONDS



SYSTEM CROSS-SECTION



TRENCH CROSS-SECTION

LANDAU Assoc.
Cales.

J.W.H.
12/24/85

SLOPE @ 5% $\Rightarrow V = 2.25$ fps

$$\frac{294.5}{(60)(2.25)} \Rightarrow t_c \neq 10 = 12.18 \Rightarrow I = 1.7$$

$$Q_E = C I A \quad A = 0.8104$$

$$C_E = \frac{\left[\begin{array}{c} \text{EXISTING BLD.} \\ (2183) \end{array} + \begin{array}{c} (.1516) \\ \text{DRIVEWAY} \\ (2036) \end{array} + \begin{array}{c} \text{Bld, Rear} \\ (2385) \end{array} \right] (.9) + (.20)(0.6583)}{43560} \cdot 8104$$

$$C_E = 0.33$$

$$Q_a = (0.33)(1.7)(0.8104) = 0.456$$

$$C_F = \frac{(.3485)(.9) + (0.4619)(.2)}{.8104} \Rightarrow .5010$$

$$Q_o = \frac{.456}{(.5010)(0.8104)} \Rightarrow Q_o = 1.12$$

$$T = -25 \sqrt{\frac{1503}{1.123}} = 36.58$$

$$V_s = \frac{3607 T}{T + 25} - 60 Q_o T = 2465.16$$

$$V_T = (2465.16)(.8104)(.501) \Rightarrow 1000.9$$

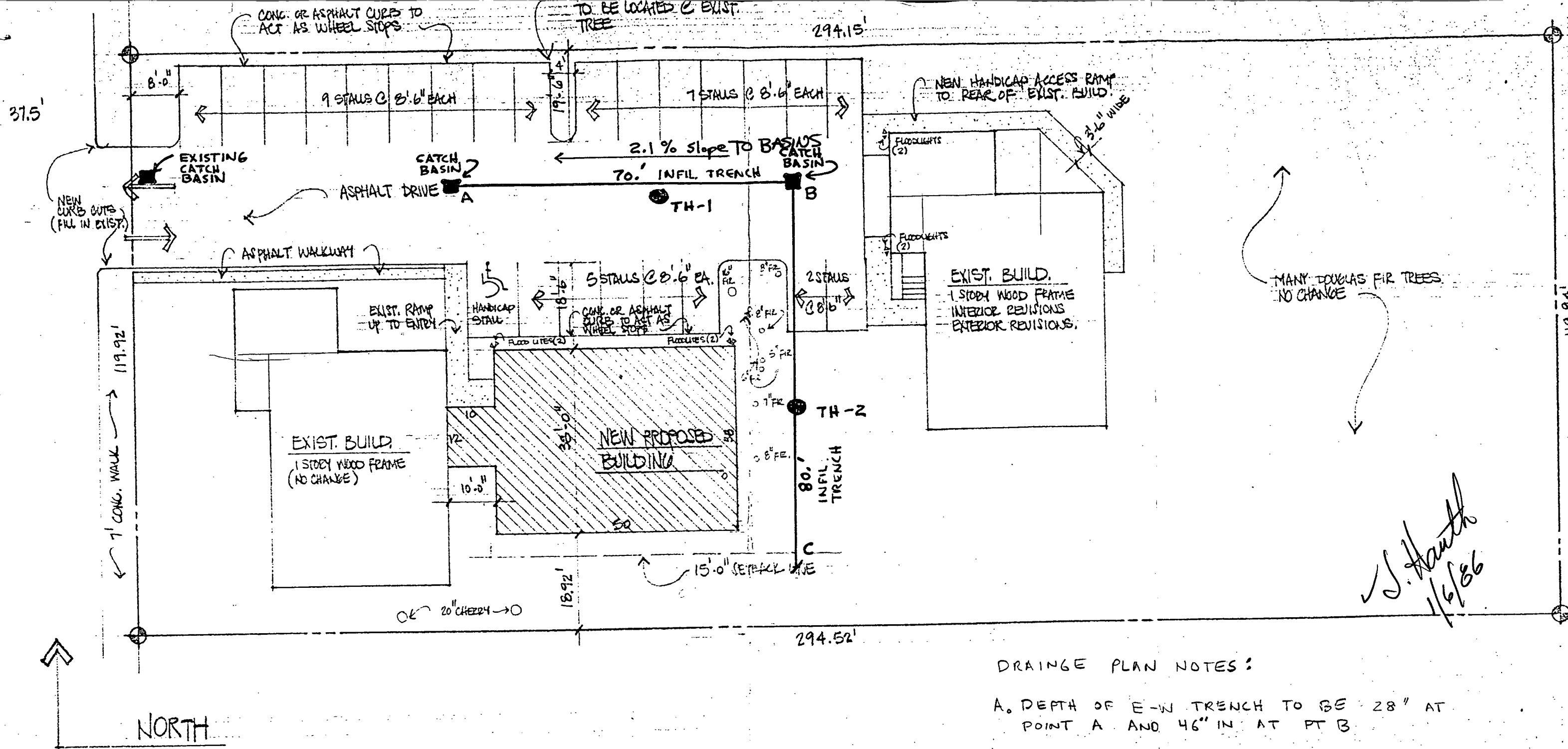
proposed trench 150 L.F.

$$(150)(2) + (150)(1.67) = 550 \text{ ft}^2 \text{ surface area}$$

$$\text{perc. } 5 \text{ min/in} \Rightarrow 72 \text{ in/6 hrs}$$

$$\frac{(550 \text{ ft}^2)(6)}{6 \text{ hrs}} \Rightarrow 3300 \text{ ft}^3 / 6 \text{ hrs}$$

exceeds the 1000 ft³ required



PLOT PLAN

- * FLOODLIGHTS TO BE A DOUBLE FIXTURE ON THE BUILDING AT THE CORNER AS NOTED.
- * NO NEW PROPOSED SIGNS - NO CHANGE TO EXIST. SIGN ON EXIST. BUILDING.
- * NO NEW PROPOSED CONTOUR LINES - AREA TO BE IMPROVED IS RELATIVELY FLAT.

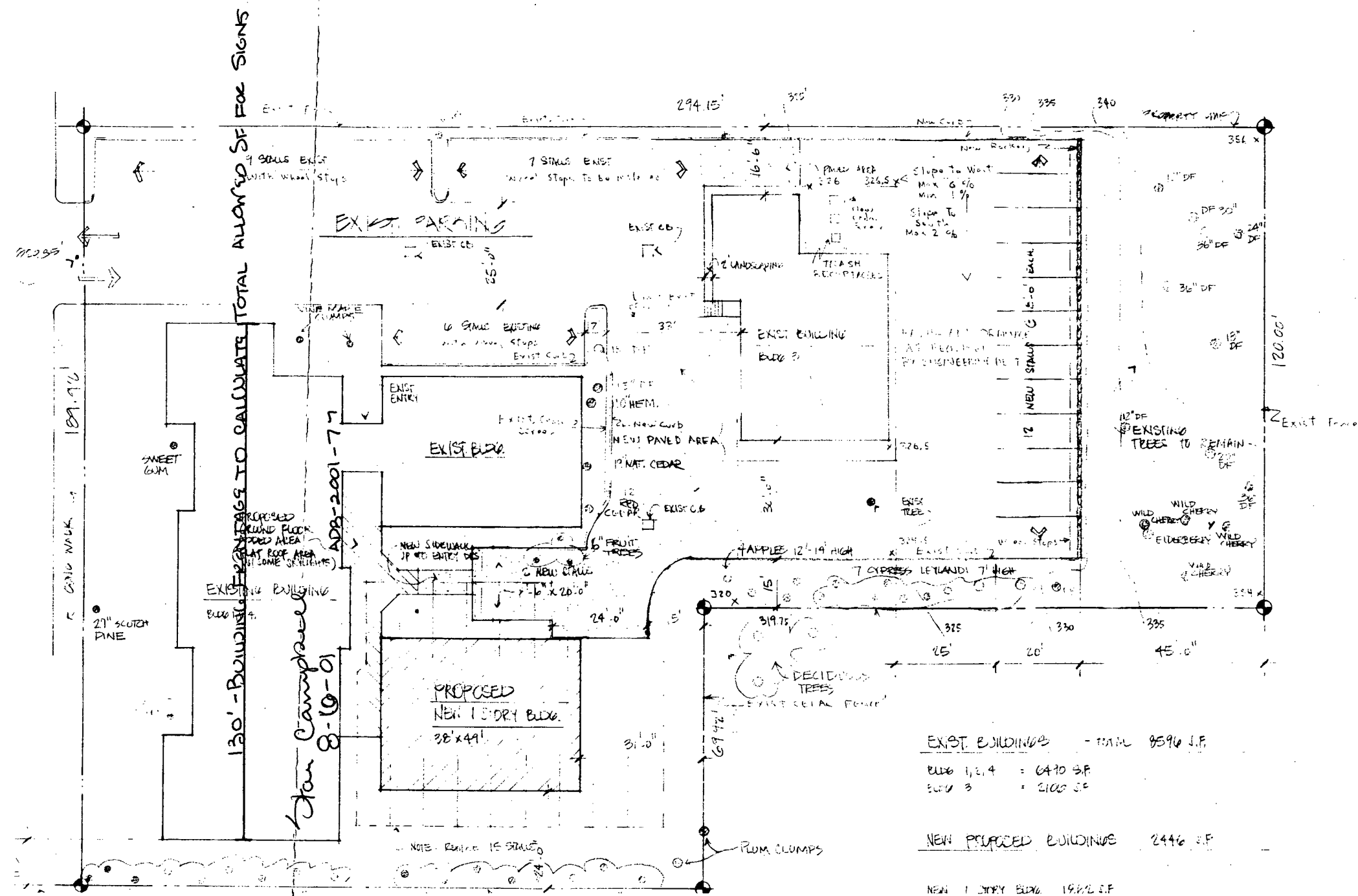


H. Landau

DRAINAGE PLAN NOTES:

- DEPTH OF E-W TRENCH TO BE 28" AT POINT A AND 46" IN AT PT B
- DEPTH OF N-S TRENCH TO BE 46" AT B AND C. BOTTOM ELEVATIONS OF BOTH TRENCHES TO BE SAME.
- PARKING AND DRIVE AREAS TO BE SLOPED TO DRAIN TOWARDS LONG AXIS (ABOVE A-B)
- DOWN SPOUTS FROM EXISTING EAST BLDG TO BE TIED TO N-S DRAIN
- DOWN SPOUTS FROM PROPOSED BLDG TO BE TIED TO BOTH N-S AND E-W LINES
- EAST $\frac{2}{3}$ OF PARKING AND DRIVE AREAS TO BE SLOPED TO DRAIN TO CATCH BASINS A AND B
- INFILTRATION TRENCH AND CATCH BASIN DETAILS TO BE AS SHOWN ON FIG 2.

1" = 20'



STREET FILE

MEMORANDUM

January 25, 1990

TO: Leigh Francis
VIA: Dan Smith
FROM: Gordie Hyde *GCH*
SUBJECT: ADB Agenda for February, 1990 - Project Comments

- 134-89 Driveway and parking lot must be paved and striped.
- 129-89 Monument signs okay.
Westernmost portion of sign on 76th Ave. W. must be a minimum of 8' behind back of sidewalk.
- 1-90 Parking spaces must be 8.5' wide, exclusive of partitions.
An engineering inspection will be made to determine condition of the alley paving. Applicant may be required to overlay.
Maximum sideslope on handicap access parking space is 2%.
7' sidewalk is required ~~if not existing~~.
25.
- ✓ 132-89 Some dimensions still are missing on plan.
Existing paving to be removed and changed to landscaping, new paving not allowed north of existing Building #3.
- 17-89 No comments.
- 2-90 High traffic driveway required.
7' sidewalk required along 7th Ave. N., frontage to west edge of driveway of Phase I.
Stack parking not allowed pending Hearing Examiner findings.
- ✓ 3-90 High traffic driveway required.
Parking stalls and drives must meet standards.
Driveway profiles are required.
Cross sections of site are required.
7' sidewalk along frontage of 3rd Ave. S. is required.

CITY OF EDMONDS
COMMUNITY SERVICES DEPARTMENT
RIGHT-OF-WAY CONSTRUCTION PERMIT

Rec'd 1/30/91
Eng.

Permit No. 91-038
Issue Date 1-29-90

STREET FILE

A. ● Owner: GTE NORTHWEST INCORPORATED
Name
2312-OC WEST CASINO ROAD
Mailing Address
EVERETT, WA. 98204
City State Zip

B. ● Contractor:
Name
Mailing Address
City State Zip

2100-2802891 242210

On File Carl Samuelson 488-1626
State License Number Telephone Number

● Address or Vicinity of Construction: 23107 100th Ave W
Type of Work to be Done: Place conduit from pole to business - remove and restore
8' X 10' section of sidewalk. Please see attached sketch

Work in Connection With: ALL WORK UNDERGROUND
☐ Sub or Plat ☐ Single Family ☐ City Projects
☐ Commercial ☐ Multifamily ☒ Utility

Pavement Cut: ☒ Y ☐ N REMOVAL OF SIDEWALK CONSTITUTES A PAVEMENT CUT.

APPLICANT TO READ AND SIGN

INDEMNITY: Applicant understands and by his signature to this application, agrees to hold the City of Edmonds harmless from any injuries, damages, or claims of any kind or description whatsoever, forseen or unforeseen, that may be made against the City of Edmonds, or any of its departments or employees, including or not limited to the defense of any legal proceedings including defense costs, court costs, and attorney fees by reason of granting this permit.

THE CONTRACTOR IS RESPONSIBLE FOR WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR FOLLOWING THE FINAL INSPECTION AND ACCEPTANCE OF THE WORK.

Funds held from the Security Deposit (estimated restoration fee) will be held until the final street patch is completed by City forces, at which time a debit or credit will be processed for issuance to the applicant.

- A 24 hour notice is required for inspection; Please call Public Works: 771-3202
- Work is to be inspected during progress and at completion.
- Restoration to be in accordance with City Code.
- Street to be kept clean at all times.
- Traffic Control to be in accordance with City regulations.
- All street-cut ditches must be patched with asphalt or City approved material prior to end of working day; no exceptions.

I understand the above and that this permit must be available at the job site for inspection purposes at all times.

Signature: M. Kay Quisenberry Supervisor Date: 1-11-91
M. Kay Quisenberry or Contractor

**This Permit Must Be Posted at the Job Site For Inspection Purposes
Call DIAL-DIG Prior To Beginning Work**

FOR CITY USE ONLY

ISSUED BY: BW
Time Authorized: Void after MARCH 15 days.
Special Conditions: NA
Amendments: _____

PERMIT FEE: _____
Security Deposit: _____
Receipt No.: _____
Fund 111 Fee: _____
Street Cut Dimensions:
_____ x _____ = _____

NO WORK TO BEGIN PRIOR TO PERMIT ISSUANCE

FIELD INSPECTION NOTES

(Fund 111 - Route copy to Street Dept.)

Comments:

Diagram:

CONTRACTOR CALLED FOR INSPECTION

☐ YES

☐ NO

Partial Work Inspection by P. W.:

Work Disapproved By: _____

Date: _____

FINAL APPROVAL BY: _____

Date: _____

City of Edmonds

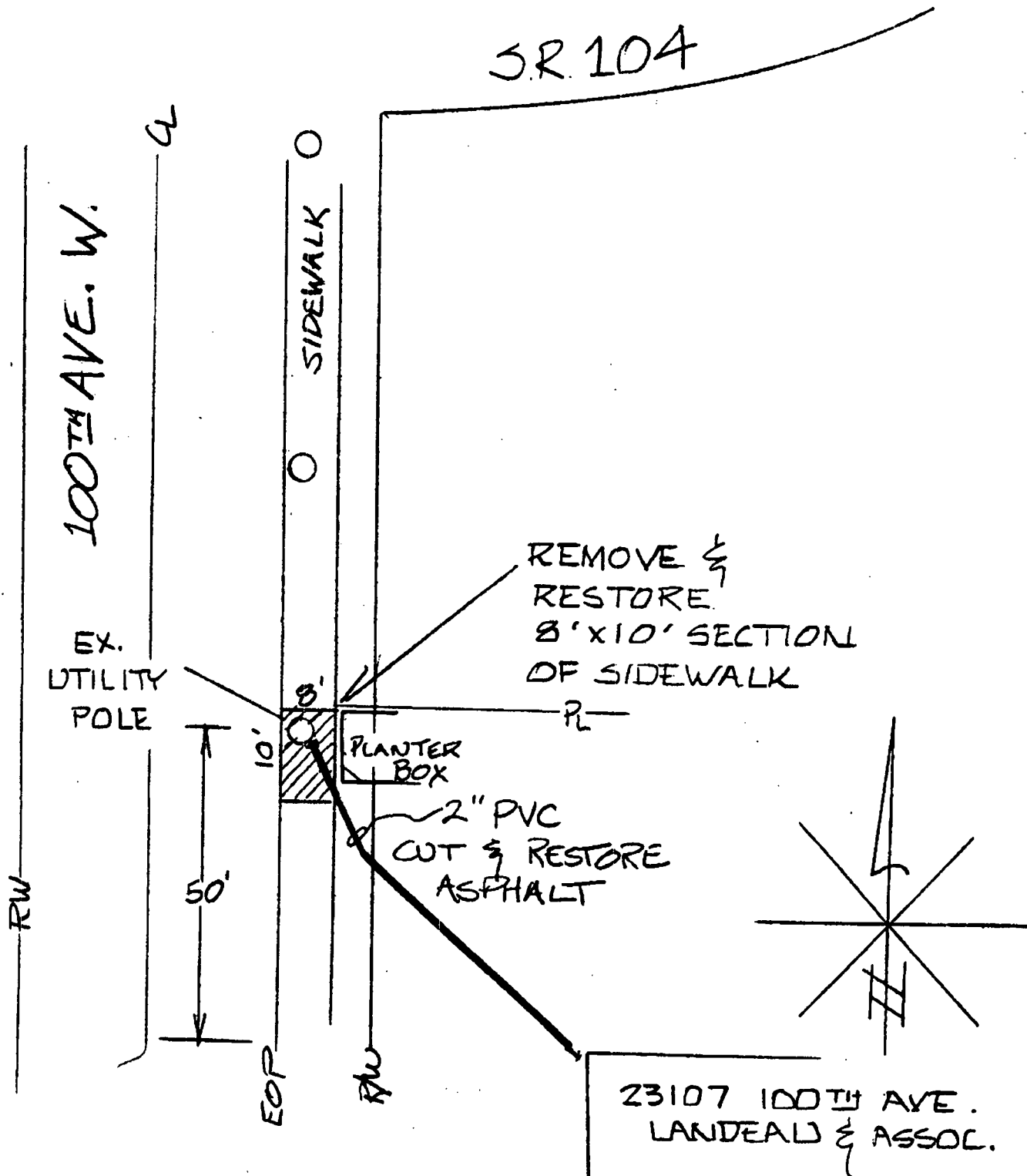


Permit Application Sketch

GTE W.O.# 2100-2802891 Acct. Code 2422.10

Township 27N Range 3E Section NE36

Field Tech: CARL SAMUELSON Phone Number 488-1620



CITY OF EDMONDS
COMMUNITY SERVICES DEPARTMENT
RIGHT-OF-WAY CONSTRUCTION PERMIT

STREET FILE

Permit No. 91-025
Issue Date 1-24-91

A. ● Owner: GTE NORTHWEST INCORPORATED
Name
2312-OC WEST CASINO ROAD
Mailing Address
EVERETT, WA. 98204
City State Zip

2100-2802891 242210

B. ● Contractor: _____
Name
Mailing Address
City State Zip
State License Number
Telephone Number
Carl 488-1620

● Address or Vicinity of Construction: 23107 - 100TH AVE. WEST

Type of Work to be Done: REMOVE AND RESTORE 3'X 5' CONCRETE PATCH IN SIDEWALK -
PLACE CONDUIT TO POLE. SEE SKETCH. VERBAL FROM ROY WHITCUTT, 1/15/91.

Work in Connection With: ☐ Sub or Plat ☐ Single Family ☐ City Projects
☐ Commercial ☐ Multifamily ☒ Utility

Pavement Cut: ☒ Y ☐ N

APPLICANT TO READ AND SIGN

INDEMNITY: Applicant understands and by his signature to this application, agrees to hold the City of Edmonds harmless from any injuries, damages, or claims of any kind or description whatsoever, foreseen or unforeseen, that may be made against the City of Edmonds, or any of its departments or employees, including or not limited to the defense of any legal proceedings including defense costs, court costs, and attorney fees by reason of granting this permit.

THE CONTRACTOR IS RESPONSIBLE FOR WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR FOLLOWING THE FINAL INSPECTION AND ACCEPTANCE OF THE WORK.

Funds held from the Security Deposit (estimated restoration fee) will be held until the final street patch is completed by City forces, at which time a debit or credit will be processed for issuance to the applicant.

- A 24 hour notice is required for inspection; Please call Public Works: 771-3202
- Work is to be inspected during progress and at completion.
- Restoration to be in accordance with City Code.
- Street to be kept clean at all times.
- Traffic Control to be in accordance with City regulations.
- All street-cut ditches must be patched with asphalt or City approved material prior to end of working day; no exceptions.

I understand the above and that this permit must be available at the job site for inspection purposes at all times.

Signature: M. Kay Ruosen Date: 1-22-91

M. Kay Ruosen
Owner or Contractor
Operations Supervisor

This Permit Must Be Posted at the Job Site For Inspection Purposes

Call DIAL-DIG Prior To Beginning Work

FOR CITY USE ONLY

ISSUED BY: BW
Time Authorized: Void after MARCH 30 days.
Special Conditions: NA
Amendments: _____

PERMIT FEE: \$30-to be billed
Security Deposit: _____
Receipt No.: _____
Fund 111 Fee: _____
Street Cut Dimensions:
_____ x _____ = _____

NO WORK TO BEGIN PRIOR TO PERMIT ISSUANCE

FIELD INSPECTION NOTES

(Fund 111 - Route copy to Street Dept.)

Comments:

Diagram:

CONTRACTOR CALLED FOR INSPECTION

☐ YES

☐ NO

Partial Work Inspection by P. W.:

Work Disapproved By: _____

Date: _____

FINAL APPROVAL BY: _____

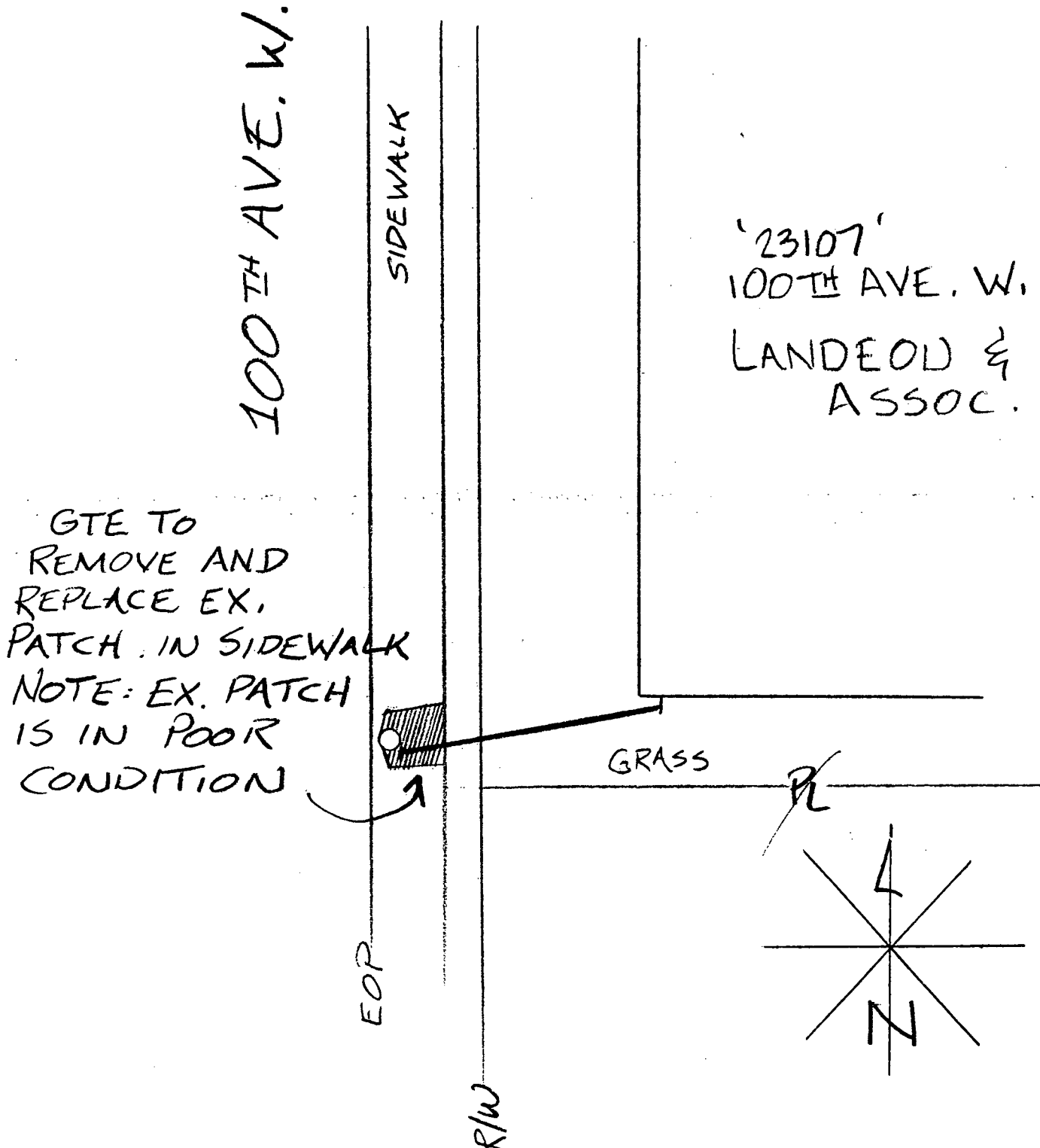
Date: _____

City of Edmonds

Permit Application Sketch



GTE W.O.# 2100-2802891 Acct. Code 2422.10
Township 27N Range 3E Section 36A
Field Tech: CARL SAMUELSON Phone Number 488-1620



STREET FILE

AOB - 134 - 89

1) ^{ADD} DRAINAGE SYSTEM REQUIRED IF OVER 2000 SF OF IMPERMEABLE SURFACE IS ADDED

2) AOB-1-90 - ~~RES~~ NEW BUILDING - 126 3RD S

^{ADD} UNDERGROUND WIRING REQUIRED. DRAINAGE SYSTEM MAY NEED TO BE EXTENDED TO JAMES ST VIA THE ALLEY. BONDING TO CITY CODE.

✓ 3) AOB-132-89 LANDM ASSO PARKING LOT

^{ADD} DRAINAGE SYSTEM REQUIRED. UNDERGROUND WIRING REQ'D.

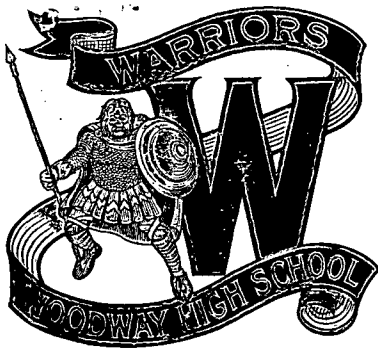
4. AOB-2-90 CREEKSIDE APT. - PHASE II - JIM SMITH

^{ADD} UTILITY DEVELOPMENT PLAN REQUIRED. UNDERGROUND WIRING REQUIRED. BONDING PER CITY CODE.

✓ 5. AOB-3-90 42 UNIT APT FOR BELT AT 348 3RD S

^{ADD} UTILITY DEVELOPMENT PLAN REQ'D. UNDERGROUND WIRING REQUIRED. BONDING PER CITY CODE

22-141 50 SHEETS
22-142 100 SHEETS
22-144 200 SHEETS
AMPAD



Woodway High School

23200 - 100TH AVENUE WEST
EDMONDS, WASHINGTON 98020

STREET FILE

FILLMORE C. SANKEY - PRINCIPAL
ROGER MYERS - ASST. PRINCIPAL
AL SHIER - ASST. PRINCIPAL

RECEIVED

MAR 23 1987

PUBLIC WORKS March 18, 1987

Dear Mr. Mills, *ARM*

Woodway High School wishes to thank you for the work you and your crew have done to facilitate the lighting of our reader board on 100th Ave. W.

The cost quoted at \$289.79, plus the cost of a timer should be billed to the Associated Student Body of Woodway High School. We understand that a small adjustment may need to be made for increased material costs. The cost is not to exceed \$350.00.

The use of electricity from the City of Edmonds power source may also be billed to Woodway ASB. We would like the billing to be from August to August on a yearly basis. This year it should be from date of service to August 1987. The students will dig the ditch on March 23.

We appreciate your response to helping us with our reader board.

Sincerely,

Mrs. Parker

Mrs. Parker



CITY OF EDMONDS

250 5th AVE. N. • EDMONDS, WASHINGTON 98020 • (206) 771-3202

COMMUNITY SERVICES

LARRY S. NAUGHTEN
MAYOR

PETER E. HAHN
DIRECTOR

February 19, 1987

Woodway High School
23200 100th Avenue W.
Edmonds, WA 98020

Attn. Mr. Scott Chapman

Gentlemen:

This is to inform you that the requested variance needed to provide power to the school sign has been approved. There is a posting period of 14 days before any work can begin. This variance will be posted on Monday, February 23. After the 14 day period we will be able to start work immediately.

I will be in contact with you soon to schedule a meeting in order to go over the project with you.

Sincerely,

BOBBY R. MILLS
Superintendent of Public Works

/cr

cc: Kathy Parker
Mayor Naughten

Bm 2/23/87
MARCH DT

RECEIVED
FEB 24 1987
PUBLIC WORKS

February 19, 1987

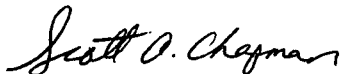
City of Edmonds
Public Works Division
250 5th Ave. N.
Edmonds. WA. 98020

Attn. Superintendent Bobby Mills *BPM*

Mr. Mills:

We at Woodway have had a chance to view your proposals and wish to progress with Option #1, which suggests running the cable over 100th Ave. W. Extra funds for the project have been allotted from last year's senior class, and we are prepared to finance the quoted installation costs of \$289.79. As previously agreed, we shall pay 50% of the utility bill for the electrical meter. If granted, we would appreciate the variance being posted as soon as possible in order to prevent project delay. Thank you greatly for your assistance and initiative.

Sincerely,



Scott Chapman
Project Chairman



Phil Olufson
ASB President



Kathy Parker
ASB Advisor

STREET FILE

MEMORANDUM

February 6, 1987

RECEIVED
FEB 10 1987
COMMUNITY SERVICES DIR.

TO: Peter Hahn
FROM: Bobby Mills *GM*
SUBJECT: VARIANCE FOR WOODWAY HIGH SCHOOL

I have received a request from Woodway High School for power to be provided to their school sign by the City. This request was routed to me by the Mayor. In a recent meeting with Mrs. Kathy Parker and student body representative Scott Chapman from Woodway High School, I explained the procedure of undergrounding and that it was a requirement by the City of Edmonds and also the alternative of going overhead. The cost estimates for both are attached.

Chapter 18.05, section A-III of the Edmonds City Code covers the requirements for this project. We are proposing an increase of the present cable size by more than 10%. We are going from a 3/8" to a 5/8" cable. Section 18.05.010, pg. 124 A-1 will be complied with. The extension from the city light to the school light will be made underground. The existing cable and wire are both 3/8" each. The new wire would replace the 3/8" wire, which has only one pair of wires when two pairs are needed to provide one leg to the school light reader board.

I hereby request a variance to replace the existing cable which will allow Woodway High School to tie into our service by extending the existing service underground to their sign. The Woodway High School A.S.B. will pay all expenses for this project.

/cr

Concur w. Mills recommendation.

Attach.

APPROVED BY:

P. E. Hahn 2/11/87

M E M O R A N D U M

February 6, 1987

TO: Peter Hahn
FROM: Bobby Mills
SUBJECT: VARIANCE FOR WOODWAY HIGH SCHOOL

I have received a request from Woodway High School for power to be provided to their school sign by the City. This request was routed to me by the Mayor. In a recent meeting with Mrs. Kathy Parker and student body representative Scott Chapman from Woodway High School, I explained the procedure of undergrounding and that it was a requirement by the City of Edmonds and also the alternative of going overhead. The cost estimates for both are attached.

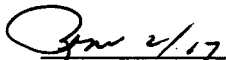
Chapter 18.05, section A-III of the Edmonds City Code covers the requirements for this project. We are proposing an increase of the present cable size by more than 10%. We are going from a 3/8" to a 5/8" cable. Section 18.05.010, pg. 124 A-1 will be complied with. The extension from the city light to the school light will be made underground. The existing cable and wire are both 3/8" each. The new wire would replace the 3/8" wire, which has only one pair of wires when two pairs are needed to provide one leg to the school light reader board.

I hereby request a variance to replace the existing cable which will allow Woodway High School to tie into our service by extending the existing service underground to their sign. The Woodway High School A.S.B. will pay all expenses for this project.

/cr

Attach.

APPROVED BY: _____


MARCH DT



CITY OF EDMONDS

250 5th AVE. N. • EDMONDS, WASHINGTON 98020 • (206) 771-3202

COMMUNITY SERVICES

LARRY S. NAUGHTEN
MAYOR

PETER E. HAHN
DIRECTOR

January 19, 1987

Woodway High School
23200 100th Avenue W.
Edmonds, WA 98020

Attn. Mr. Scott Chapman, A.S.B. President

Gentlemen:

On January 13, 1987 we met to discuss how power could be provided by the City to the school sign. Through our discussion there were two ways in which the City could do the work. One way was to get a variance to go overhead and the second way was to bore under the street. Upon review of both options the variance would be the most cost effective and would create less complications and damage to other facilities.

I have filed for a variance through the Community Services Director, Mr. Peter Hahn. It requires that we post the area for 10 days to allow public input before we start work on the project. If no protest is received we will have the work scheduled to start immediately. Should we meet with protest we will look at the second option of boring under the street.

The cost estimate for each is as follows:

Option #1- Obtain Variance to go Overhead

| | | |
|------------|---------------------------------|----------|
| Materials: | 14-5 50 Cord 150' @ .85/ft. | \$ 82.50 |
| | 1 breaker - 15 amps | 6.00 |
| | cable ties | 6.00 |
| | conduit - 1/2 gal. - 40 ft. | 16.00 |
| | 2 electrical boxes @ \$1.00/ea. | 2.00 |
| | GFIC | 12.00 |
| | Cord | 3.00 |
| | Plug | 5.00 |
| | photo cell | 15.00 |
| | misc. | 10.00 |

| | |
|------------|----------|
| NET AMOUNT | \$157.50 |
| SALES TAX | 12.29 |

TOTAL FOR MATERIALS \$169.79

| | | |
|--------|--------------------------------------|---------------|
| Labor: | 4 manhours @ \$20.00/hr. | \$ 80.00 |
| | Vehicle Rental - 4 hrs. @ \$6.00/hr. | 24.00 |
| | Overhead on Labor - 20% | 16.00 |
| | Total Material Cost from pg. 1 | <u>169.79</u> |
| | TOTAL COST ESTIMATE - OPTION 1 | \$289.79 |

Option 2- Bore Under Street

| | | |
|-----------|-----------------------------------------|---------------|
| Material: | 80 ft. 1 1/2" conduit PVC @ \$1/ft. | \$ 80.00 |
| | Materials listed from Opt. 1 | 167.79 |
| Labor: | 32 manhours @ \$20.00/hr. | 640.00 |
| | Vehicle Rental - 8 hrs. @ \$6.00/hr. | 48.00 |
| | Compressor Rental - 8 hrs. @ \$4.00/hr. | 32.00 |
| | Bore Hog Rental - 3 hrs. @ \$30.00/hr. | 90.00 |
| | Overhead on Labor - 20% | <u>128.00</u> |
| | TOTAL COST ESTIMATE - OPTION 2 | \$1,185.79 |

I realize that the cost estimate for option 2 is very high, but the estimate is fairly accurate as this would be an extremely hard job to do. This cost could go higher if the bore came up through the asphalt or dove deeper which would force us to dig up the street. We could possible break or cut through a utility which would drive the cost up even higher. It's for these reasons that we recommend option 1 and will proceed with seeking a variance.

We will tie into the electrical meter at the crosswalk for the sign lighting. The City of Edmonds pays \$12 - \$14 every two months for this utility and we would require Woodway High School to pay 50% of the utility bill for the number of months the sign is in use.

If you should have any questions please contact me at 771-3202, ext. 296. In the meantime we will keep you notified on the status of the requested variance.

Sincerely,

BOBBY R. MILLS
Superintendent of Public Works

/cr

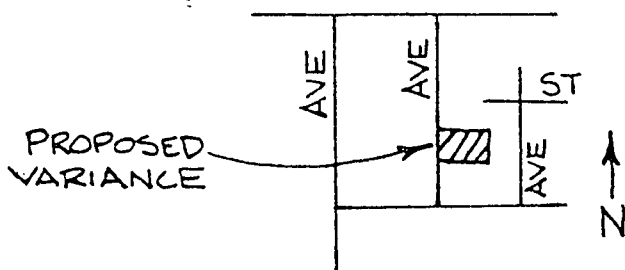
cc: Kathy Parker
Peter Hahn

Qm 1/24

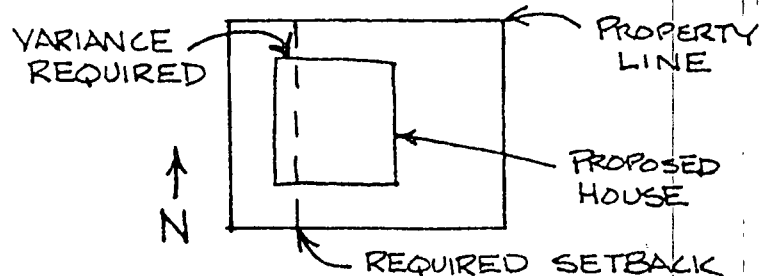
CITY OF EDMONDS
HEARING EXAMINER
GENERAL INFORMATION - VARIANCE APPLICATION

- I. The Hearing Examiner meets the first and third Thursday of each month at 7:30 p.m. in the Plaza Meeting Room, Library Building, 650 Main Street, Edmonds, Washington. The Hearing Examiner reviews all applications for variances using the conditions and criteria set forth in the Community Development Code. (All decisions of the Hearing Examiner are made at least ten working days after the meeting.) A Building Permit, Certificate of Occupancy, or other documents must be obtained within one year from the effective date of the variance.
- II. SUBMITTALS - The application must be submitted three weeks in advance of the meeting, with the following attachments:
- A. Plot Plan showing all existing structures, property lines, required setbacks, the variance requested; indicating the north point, and drawn to scale. (See example below.)
 - B. Vicinity Sketch showing the location of the subject property, surrounding streets; indicating the north point, and drawn to scale. (See example below.)

EXAMPLE - VICINITY SKETCH



EXAMPLE - PLOT PLAN



- C. Names and Addresses of the Property Owners within 80 feet of the subject property, as shown on the records of the Snohomish County Assessor.
 - D. Fee - Applications in RS zone or single-family home wherever located - \$125.00. All others \$250.00. Fee is to be submitted with the variance application.
- III. APPEAL - Any person may appeal the decision of the Hearing Examiner to the City Council as provided by Section 20.105.020.
- The person appealing shall file the appeal with the Planning Director within ten working days after the date of the decision being appealed.
- IV. REPRESENTATIVE - You or your representative must appear at the hearing, so the Hearing Examiner can ask questions about your application. Should you or your representative be unable to attend the meeting, or if you wish to cancel your application, please notify the Planning Division in writing at least four days before the meeting.

If you have any questions concerning this application, please contact the Planning Division at 771-3202, ext. 254.

CITY OF EDMONDS
HEARING EXAMINER
APPLICATION FOR VARIANCE

FILE# _____
DATE _____
FEE _____
RECT # _____
APO'S _____
HEARING DATE: _____

APPLICANT CITY OF EDMONDS ADDRESS 250 5th Ave. N.

CITY & ZIP Edmonds, WA 98020 PHONE 771-3202

INDICATE TYPE OR DEGREE OF INTEREST IN PROPERTY Enlarge existing wire to
allow power to Woodway H.S. lighted sign

LOCATION OR ADDRESS OF PROPERTY 23200 100th Ave. W., Edmonds, WA

LEGAL DESCRIPTION OF PROPERTY SE Qtr., NW Qtr. of Section 36, Township
27N, Range 3E

VARIANCE REQUESTED: to increase the existing wire size by 75%

FOR OFFICE USE ONLY: USE ZONE: _____

ZONING ORDINANCE REQUIREMENT: _____

Release/Hold Harmless Agreement

The undersigned applicant, his heirs and assigns, in consideration for the City processing the application agrees to release, indemnify, defend and hold the City of Edmonds harmless from any and all damages and/or claims for damages, including reasonable attorneys' fees, arising from any action or inaction is based in whole or in part upon false, misleading or incomplete information furnished by the applicant, his agents or employees.

Permission to Enter Subject Property

The undersigned applicant grants his, her or its permission for public officials and the staff of the City of Edmonds to enter the subject property for the purpose of inspection and posting attendant to this application.

Signature of Applicant, Owner or
Representative

VARIANCE CRITERIA

20.85.010 FINDINGS

No variance may be approved unless all of the findings in this section can be made.

- A. Special Circumstances. That, because of special circumstances relating to the property, the strict enforcement of the zoning ordinance would deprive the owner of use rights and privileges permitted to other properties in the vicinity with the same zoning.
 - 1. Special circumstances include the size, shape, topography, location or surroundings of the property, public necessity as of public structures and uses as set forth in Section 17.00.030 and environmental factors such as vegetation, streams, ponds and wildlife habitats.
 - 2. Special circumstances should not be predicated upon any factor personal to the owner such as age or disability, extra expense which may be necessary to comply with the zoning ordinance, the ability to secure a scenic view, the ability to make more profitable use of the property, nor any factor resulting from the action of any past owner of the same property.
- B. Special Privilege. That the approval of the variance would not be a grant of special privilege to the property in comparison with the limitations upon other properties in the vicinity with the same zoning.
- C. Comprehensive Plan. That the approval of the variance will be consistent with the Comprehensive Plan.
- D. Zoning Ordinance. That the approval of the variance will be consistent with the purposes of the zoning ordinance and the zone district in which the property is located.
- E. Not Detrimental. That the variance as approved or conditionally approved will not be significantly detrimental to the public health, safety, and welfare or injurious to the property or improvements in the vicinity and same zone.
- F. Minimum Variance. That the approved variance is the minimum necessary to allow the owner the rights enjoyed by other properties in the vicinity with the same zoning.

20.85.020 GENERAL REQUIREMENTS

- A. Review. The Hearing Examiner shall review variances as provided in Section 20.100.010.
- B. Appeals. Any person may appeal a hearing examiner decision to the City Council as provided in Chapter 20.105.
- C. Time Limit. The approved variance must be acted on by the owner within one year from the date of approval or the variance shall expire and be null and void, unless the owner files an application for an extension of time before the expiration date and the city approves the application.
- D. Review of Extension Application. An application for an extension of time shall be reviewed by the Community Development Director as provided in Section 20.95.050.
- E. Location. A variance applies only to the property for which it has been approved and may not be transferrable to any other property.

DECLARATIONS OF APPLICANT

Please answer all questions

1. What are the physical characteristics, (i.e. topography, shape of lot, etc.) which create a hardship for you in regard to development of your property?

The cost to bore under a major arterial and the possible
conflict which could occur.

2. How does your property differ from other property in the same vicinity?

High volume of traffic and wider than most asphalt streets.

3. Will this variance be detrimental to the public or damaging to other property or improvements in the vicinity?

The wire, when attached, will have very little visual difference
than the previous existing wire.

4. What hardships will result to you if the variance is not granted? Will these hardships have been caused by your own action?

The cost to the general fund of the Woodway H.S. Student Body
would increase considerably.. The school cannot pay this cost.

5. Can you make reasonable use of your property without the variance?

Yes, but the Woodway H.S. Student Body would have to come up
with additional monies and delay using the lighted sign.

INSTRUCTIONS ON HOW TO COMPILE
ADJACENT PROPERTY OWNER LIST

The Edmonds Community Development Code requires that notification of a proposed action be mailed to property owners and residents within 80 feet of any point of the subject property. It is the responsibility of the applicant to provide the Planning Division with this information. Failure to provide an adequate list may be grounds for rejection of your application. This information may be obtained from the Snohomish County Assessor's Office at the County Administration Building, 3000 Rockefeller, 3rd Floor, Everett, WA. The Assessor's office will assist you in identifying property owners, but requires that you bring tax identification numbers with you. The Edmonds Planning Division staff will be able to assist you in determining the tax identification numbers required.

If a bank is listed as the owner, please provide that information as well as the bank account number and the corresponding address. (The County records will show both.) For example:

4322-060-020-010 (Tax I.D. No.)
Evergreen Savings
Smith, John #22222222
100 Pike Street
Seattle, WA 98111

666 Walnut Street
Edmonds, WA 98020

If a property is not owner occupied, we will need the owner's mailing address as well as that of the corresponding property. For example:

5466-898-898-0890
Jones, Mary
546 3rd Street
San Francisco, CA 99999

701 Puget Drive
Edmonds, WA 98020

If a lot is vacant, you are still required to provide the name and address of the owner.

If an apartment building is listed, please provide the name and address of the owner as well as the address of the building and apartment numbers.

Please provide adjacent property owner information on the attached sheet along with your notarized signature. Additional sheets may be attached if necessary. This information must be submitted together with your application.

ADJACENT PROPERTY OWNERS LIST

- 1) Salem Lutheran Church
9906 232nd St. SW
Edmonds, WA 98020

- 2) United Savings & Loan RE: 9927 232nd St. SW
5605300135110
Ron Fischer
P.O. Box 85537
Seattle, WA 98145

On my oath, I certify that the names and addresses provided represent all properties located within 80 feet of the subject property.

Signature of Applicant or Applicant's Representative

Subscribed and sworn to before me this ____ day of _____, 19____.

Notary Public in and for the State of Washington

Residing at _____

DATE: 2/5/86

MEMO TO: Building Division
Planning Department

FROM: Engineering Division
Public Works Department

SUBJECT: 23105 100TH AVE W

After review of the subject Building Permit application, we have the following comments:

1. Connection to City water system required.
2. Connection to City sanitary sewer system required.
3. Right-of-way permit required for any work on City property.
4. Driveway slope not to exceed 14%
5. Backwater valve required if downstairs plumbing is below elevation of upstream manhole.
6. Water and sewer lines to be separated by 10 foot minimum.
7. Builder/owner responsible for containing all temporary runoff and erosion on site and may not impact neighboring properties in any way.
8. ~~Plan~~ Contractor responsible for keeping street clean & free of debris.
9. Pre-backfill inspection required on drainage system
10. Parking lot per approved plan.

Rm Smith

PROJECT REVIEW CHECKLIST

PROJECT

PROJECT ADDRESS:

STREET FILE

APPLICATION RECEIPT DATE: 1-31-86

COMMENTS

| SINGLE FAMILY/MULTIPLE/COMMERCIAL - (Circle One) | FIRE | PLANNING BUILDING | Reviewed by: (initial/date) | | | |
|------------------------------------------------------|------|----------------------|-----------------------------|--------|--------|----|
| | | | WTR/SWR | STREET | ENGRNG | |
| SETBACKS CHECKED - Planning | //// | //// | //// | //// | //// | 1 |
| VARIANCE/SETBACK ADJ. | //// | //// | //// | //// | //// | 2 |
| CONDITIONAL USE PERMIT | //// | //// | //// | //// | //// | 3 |
| DB REQUIREMENTS CHECKED | //// | //// | //// | //// | //// | 4 |
| OTHER ZONING REQUIREMENTS | //// | //// | //// | //// | //// | 5 |
| ENVIRONMENTAL FEATURES | //// | //// | //// | //// | North | 6 |
| ACCESS SLOPE & VEHICLE ACCESS <i>OK</i> | //// | //// | //// | //// | 1 | 7 |
| RAINAGE PLAN (On Site) <i>app plan</i> | //// | //// | //// | //// | | 8 |
| STREET FILE | //// | //// | //// | //// | | 9 |
| LEGAL DESCRIPTION VERIFICATION <i>OK</i> | //// | //// | //// | //// | | 10 |
| UT CLAIM/DEDICATIONS <i>1/leg'd</i> | //// | //// | //// | //// | | 11 |
| ASEMENT - PUBLIC/PRIVATE | //// | //// | //// | //// | | 12 |
| CALCULATE SEWER CONNECTION IF NO LID# <i>ESR 183</i> | //// | //// | //// | //// | | 13 |
| PLAT/SUBDIVISION REQUIREMENTS | //// | //// | //// | //// | | 14 |
| RIGHT-OF-WAY CONSTRUCTION PERMIT REQD <i>yes</i> | //// | //// | //// | 2/3/86 | | 15 |
| BOND REQD FOR PUBLIC IMPROVEMENTS | //// | //// | //// | //// | | 16 |
| SOILS CONDITIONS & GROUND | //// | //// | //// | //// | | 17 |
| WATER FIELD CHECKED | //// | //// | //// | //// | | 18 |
| STREET PAVING REQUIRED | //// | //// | //// | //// | | 19 |
| CURB AND GUTTER REQUIRED | //// | //// | //// | //// | | 20 |
| SIDEWALK REQUIRED | //// | //// | //// | //// | | 21 |
| CURB CUT FOR DRIVEWAY REQD | //// | //// | //// | //// | | 22 |
| STREET NAME SIGN REQD | //// | //// | //// | //// | | 23 |
| OTHER SIGNING REQD | //// | //// | //// | //// | | 24 |
| SIDE SEWER AVAILABILITY | //// | //// | //// | //// | | 25 |
| EXISTING WATER MAIN SIZE | //// | //// | Oly | //// | | 26 |
| WATER METER SIZE | //// | //// | Seew | //// | | 27 |
| SERVICE LINE SIZE | //// | //// | Water | //// | | 28 |
| HYDRANT REQUIRED | //// | //// | //// | //// | | 29 |
| HYDRANT SIZE EXISTING | //// | //// | FB | //// | | 30 |
| CROSS CONNECTION INSPECTION REQD | //// | //// | FB | //// | | 31 |
| WATER METER CHARGE REQD | //// | //// | Oly | //// | | 32 |
| FIRE LINE CHARGE REQD - SPRINKLER | //// | //// | View | //// | | 33 |
| STREET CUT | //// | //// | Water | //// | | 34 |
| OPEN DITCH EXISTING | //// | //// | //// | //// | | 35 |
| REQD | //// | //// | //// | //// | | 36 |
| CULVERT REQD | //// | //// | //// | //// | | 37 |
| SIZE | //// | //// | //// | //// | | 38 |
| CATCH BASIN REQD | //// | //// | //// | //// | | 39 |
| INDICATED ON SITE PLAN | //// | //// | //// | //// | | 40 |
| SHOULDER DRAINAGE MAINTAIN | //// | //// | //// | //// | | |
| SHALE OPEN RUNOFF | //// | //// | //// | //// | | |
| MISC: | //// | //// | //// | //// | | |

REVIEWED BY:

PLANNING MGR.

ENGINEERING MGR.

PUBLIC WORKS MGR.

NAME OF BUSINESS
CANDAU Assoc
MAILING ADDRESS
P.O. Box 694
CITY
EDMONDS
TELEPHONE NUMBER
778-0907
NAME
RONALD D. JOHNSON
ADDRESS
19601 23rd NW
CITY
SEATTLE WA-
TELEPHONE NUMBER
546-2288
NAME

ADDRESS

CITY

TELEPHONE NUMBER

STATE LICENSE NUMBER

Legal Description of Property - include all easements (show below or attach four copies)
LOT #2 BERGQUIST ADDITION ACCORD TO PLAT THEREOF VOL 15 OF PLATS P. 105 2nd. Snd Co. WA. EXCEPT W. 7 1/2'
☒ NEW ☐ RESIDENTIAL ☐ THERE ARE NO CONDEMNATED PLUMBING CO. COURT 106296 MECHANICAL
☒ ADD/ALTER ☒ COMMERCIAL ☐
☐ REPAIR ☐ RETAINING WALL ☐ SIGN
☐ DEMOLISH ☐ EXCAVATE OR FILL ☐ FENCE (x FT)
☒ REMODEL ☐ PRE-MOVE INSP./ COMPLIANCE INSP. ☐ SWIM POOL
☐ WOOD STOVE/ INSERT ☐ APT. BLDG ☐ RENEWAL

NUMBER OF STORIES
1
NUMBER OF DWELLING UNITS
1
NATURE OF WORK TO BE DONE (ATTACH PLOT PLAN)
WOOD FRAMES 1 LEVEL OFFICE BUILDING ADDITION & EXISTING HOUSE BEING REMODELED INTO OFFICES

This Permit covers work to be done on private property ONLY. Any construction on the public domain (curbs, sidewalks, driveways, marquees, etc.) will require separate permission.
Permit Application: 180 Days
Permit Limit: 1 Year - Provided Work Is Started Within 180 Days
"Applicant, on behalf of his or her spouse, heirs, assigns and successors in interest, agrees to indemnify, defend and hold harmless the City of Edmonds, Washington, its officials, employees, and agents from any and all claims for damages of whatever nature, arising directly or indirectly from the issuance of this permit. Issuance of this permit shall not be deemed to modify, waive or reduce any requirement of any city ordinance or limit in any way the City's ability to enforce any ordinance provision."
I hereby acknowledge that I have read this application; that the information given is correct; and that I am the owner, or the duly authorized agent of the owner. I agree to comply with city and state laws regulating construction; and in doing the work authorized hereby, no person will be employed in violation of the Labor Laws of the State of Washington relating to Workmen's Compensation Insurance.
Signature (OWNER OR AGENT)
Malcolm D. Johnson
DATE SIGNED
1/31/86

NOTICE: IT IS UNLAWFUL TO USE OR OCCUPY A BUILDING OR STRUCTURE UNTIL A FINAL INSPECTION HAS BEEN MADE AND APPROVAL OR CERTIFICATE OF OCCUPANCY HAS BEEN GRANTED. UBC SECTION 3.

JOB ADDRESS
23105 100th Ave West
LEGAL DESCRIPTION CHECK ☒ SUBDIVISION NO. LID NO.
ESR 283
PUBLIC RIGHT OF WAY PER OFFICIAL STREET MAP.
EXISTING _____ REQUIRED DEDICATION _____
RIGHT OF WAY CONSTRUCTION PERMIT REQUIRED ☐
STREET USE PERMIT REQUIRED ☐
SEE ENGINEERING MEMO DATED _____
REMARKS
Parking lot per approved plan
METER SIZE BUILDING SUPPLY SIZE FIXTURE UNITS
REMARKS
SIGN AREA ALLOWED PROPOSED ENV. REVIEW COMPLETE EXEMPT ADB NO.
SHORELINE #
VARIANCE OR CU PLANNING REVIEW BY DATE
YARDS FRONT SIDE REAR HEIGHT LOT COVERAGE
REMARKS
CHECKED BY TYPE OF CONSTRUCTION CODE HEIGHT
SPECIAL INSPECTOR REQUIRED ☐ YES ☐ NO AREA OCCUPANCY GROUP OCCUPANT LOAD
REMARKS
VALUATION FEE
PLAN CHECK FEE
BUILDING
PLUMBING
MECHANICAL
GRADING/FILL
STATE SURCHARGE
ENERGY CODE
PLAN CHECK DEPOSIT
-10000 4781
TOTAL AMOUNT DUE
ATTENTION
THIS PERMIT AUTHORIZES ONLY THE WORK NOTED
INSPECTION DEPARTMENT
CITY OF EDMONDS
771-3202
APPLICATION APPROVAL
This application is not a permit until signed by the Building Official or his Deputy; and fees are paid, and receipt is acknowledged in space provided.
OFFICIAL'S SIGNATURE DATE
RELEASED BY: DATE
ORIGINAL - File YELLOW - Inspector
PINK - Owner GOLD - Assessor

CITY OF EDMONDS
PUBLIC WORKS DEPARTMENT
RIGHT - OF - WAY CONSTRUCTION PERMIT

NOV 24 1982

City of Public Works

Permit No. 82-317
Issue Date 11/23/82
FILE

A. Address or vicinity of Construction

23107 100 Av W Plat 166-67,10

- Owner: Washington Natural Gas Co
Name

805 156 AV NE
Mailing Address

Bellevue, Washington 98007
City, State, Zip Code

- Permit Issued To: WNG

- Type of Work to be Done: Install New Service

- Work in Connection With:

☐ Sub or Plat ☐ Single Family

☐ Comm. / Ind. ☐ Apt. Condo.

- Pavement Cut: ☐ Yes ☐ No

- Contractor: Same As Above

Name

Mailing Address

City, State, Zip Code

State License Number

Telephone Number

★★ NO WORK TO BEGIN PRIOR TO PERMIT ISSUANCE ★★

B. APPLICANT TO READ AND SIGN

INDEMITY: Applicant understands and by his signature to this application, agrees to hold the City of Edmonds harmless from any injuries, damages, or claims of any kind or description whatsoever, foreseen or unforeseen, that may be made against the City of Edmonds, or any of its departments or employees, including or not limited to the defense of any legal proceedings including defense, costs, court costs, and attorney fees by reason of granting this permit.

Upon issuance of this permit, the contractor is responsible for workmanship and materials for a period of one year following the final inspection and acceptance of the restoration by the Engineering Division.

Funds held from the Security Deposit (estimated restoration fee) will be held until the final street patch is completed, at which time a debit or credit will be processed for issuance to the applicant.

Work is to be inspected. Restoration to be in accordance with City Code. Traffic Control to be in accordance with Traffic Section of City Code. Street to be kept clean at all times. A 24 - hour notice is required for inspection by Engineering. Call 775-2525, extension 220.

I understand that this permit must be available at the job site for inspection purposes at all times.

Signature: [Signature] Date Nov 22, 1982
Owner or Agent

★★ THIS PERMIT MUST BE POSTED AT THE JOB SIT FOR INSPECTION PURPOSES ★★
CALL DIAL - DIG PRIOR TO BEGINNING WORK

C. Issued By: C. NoackTime Authorized: Void after 30 days

Special Conditions: _____

Ammendments: _____

Permit Fee: \$30.00

Security Deposit: _____

Receipt No.: _____

Fund 111 Fee: _____

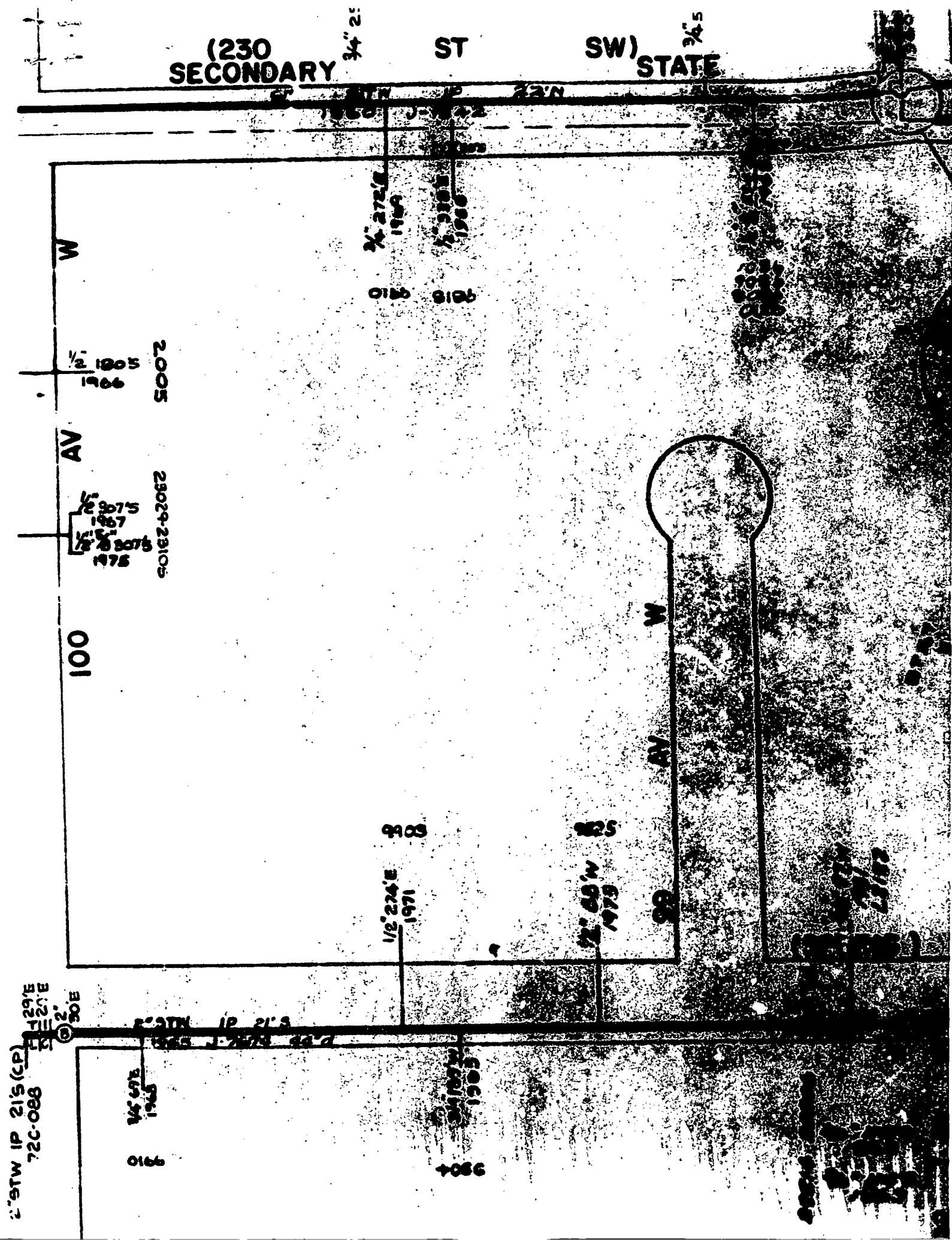
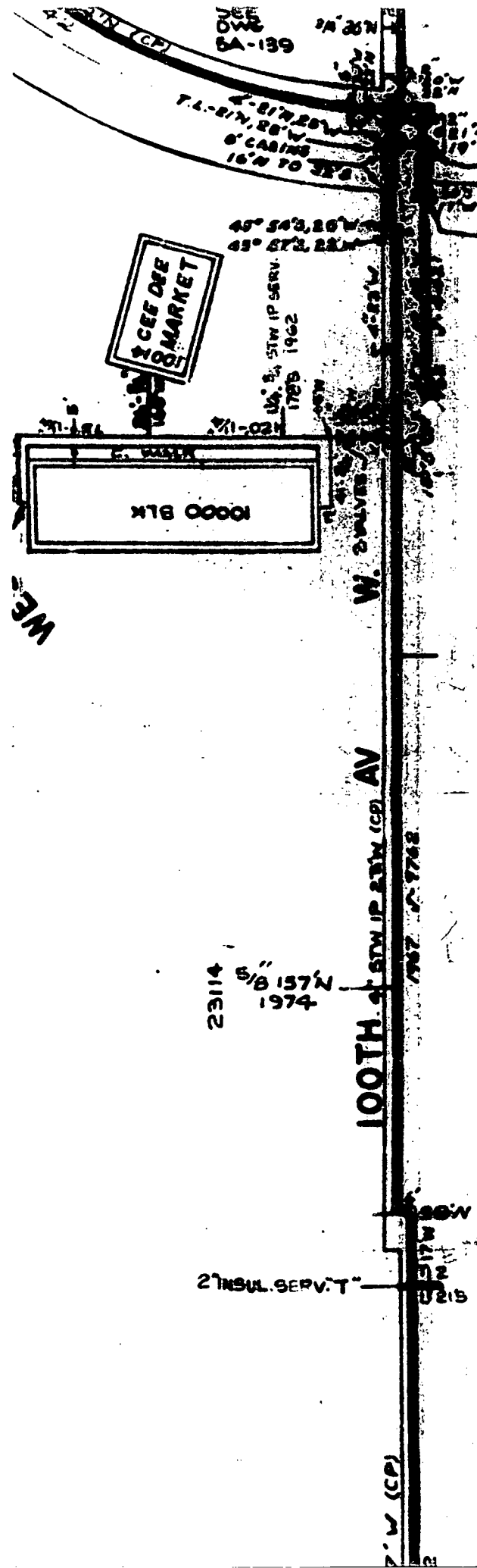
Street Cut Dimensions

_____ X _____ = _____

★★ NO WORK TO BEGIN PRIOR TO PERMIT ISSUANCE ★★

TO BE COMPLETED BY APPLICANT

FOR CITY USE ONLY



STREET FILE

A. ● Address or vicinity of Construction

● Owner: _____
Name _____
Mailing Address _____
City, _____ State, _____ Zip Code _____

● Permit Issued To: _____
● Type of Work to be Done: _____
● Work in Connection With:
☐ Sub or Plat ☐ Single Family
☐ Comml. / Ind. ☐ Apt. Condo.
● Pavement Cut: ☐ Yes ☐ No

● Contractor: _____
Name _____
Mailing Address _____
City, _____ State, _____ Zip Code _____

State License Number _____
Telephone Number _____

★★ NO WORK TO BEGIN PRIOR TO PERMIT ISSUANCE ★★

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I understand that this permit must be available at the job site for inspection purposes at all times.

Signature: Tony Tessitore Date: _____
Owner or Agent

★★ THIS PERMIT MUST BE POSTED AT THE JOB SIT FOR INSPECTION PURPOSES ★★
CALL DIAL - DIG PRIOR TO BEGINNING WORK

C. Issued By: _____

Time Authorized: Void after _____ days

Special Conditions: _____

Ammendments: _____

Permit Fee: _____

Security Deposit: _____

Receipt No.: _____

Fund 111 Fee: _____

Street Cut Dimensions

_____ X _____ = _____

★★ NO WORK TO BEGIN PRIOR TO PERMIT ISSUANCE ★★

TO BE COMPLETED BY APPLICANT

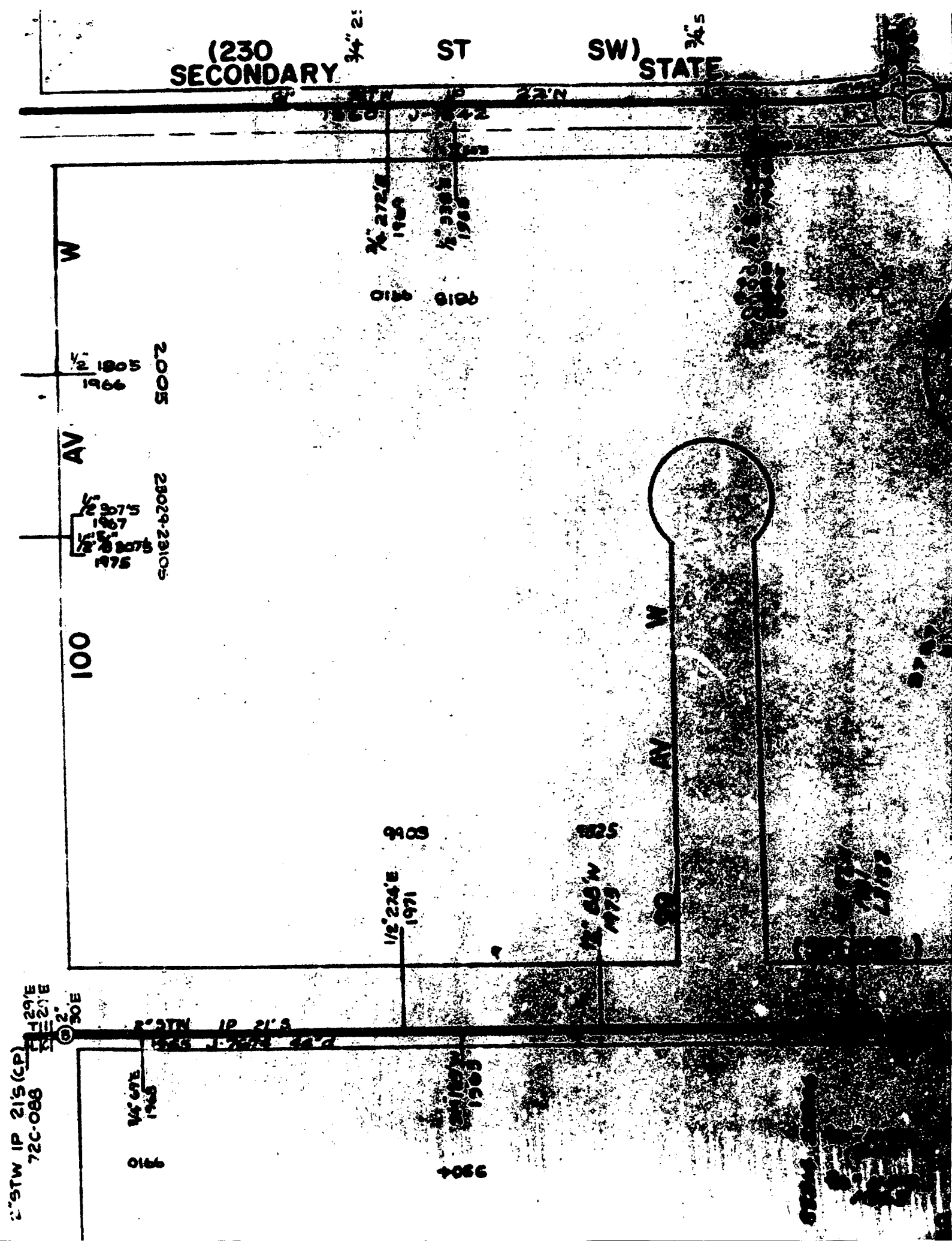
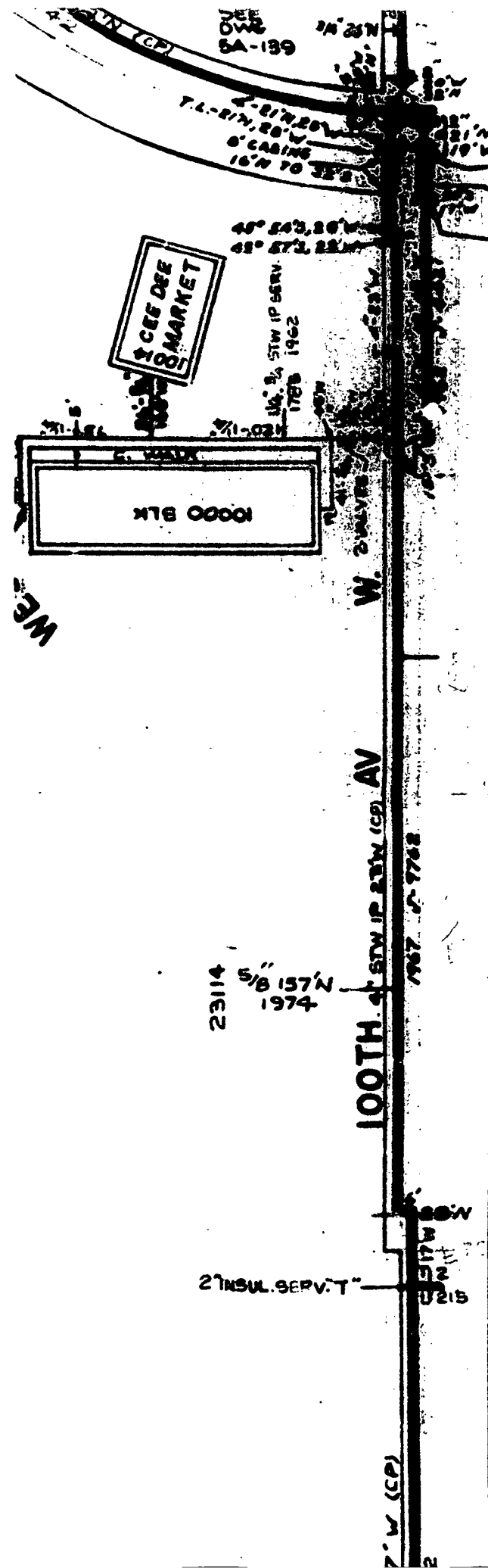
FOR CITY USE ONLY

FIELD INSPECTION NOTES

(Fund 111 - Route cony to Street Dept.)

Comments:Diagram:

Contractor called for inspection Yes No
Work Disapproved By: _____ Date: _____ By: _____ Date: _____
Work Approved By: OK Date: 3-8-83
Inspector: _____



Planning Date
9/12/79

STREET FILE

Review Copy

CITY OF EDMONDS
APPLICATION FOR REZONE

DATE: 8-21-79

FILE #: R-6-79

REZONE FEE: \$75.00

CONTRACT REZONE: \$125.00

ENV. ASSESSMENT FEE: \$25.00

ENV. CHECKLIST REC'D ☒

RECEIVED
AUG 28 1979
Dir. Of Public Works

PC

HEARING DATE: 9-12-79

APPLICANT: Bryce Black

REC'T NO: 2273

ADDRESS: 18914 - 94th Ave. W., Edmonds

PHONE # 775-9285, 259-6184

APPLICANT'S INTEREST IN THE PROPERTY: OPTION HOLDER _____ RE CONTRACT HOLDER _____
OTHER - Please specify: Applicant is prospective purchaser

OWNER: Richard and Mary Ann Breen ADDRESS: 1010 - 8th Ave. S. Edmonds PHONE 775-3970
(If more than one owner, attach list or petition)

REQUEST REZONE FROM: Single family residential Single family residential or Neighborhood
Statement or reasons for rezone request. (Statement may be attached. Please include any
plans for development. Proponent is an attorney and desires and will contract to use
premises for professional and business offices, retaining the right to continue
use as a single family residence.

LEGAL DESCRIPTION OF REZONE AREA: Lot 2, Bergquist Addition
Records of Snohomish County, Washington

23107 - 100th Ave W.

REQUIRED SUBMITTALS.

(Must be submitted at time of application)

1. Map drawn to scale of the area involved, showing all property lines, dimensions, existing buildings and streets. Indicate North and adjacent zoning.
2. Vicinity sketch of the area with subject property shaded in. Indicate North and adjacent zoning.
3. Environmental Checklist, completed, with the \$25.00 fee.
4. Names and addresses of all property owners within 80 feet of the boundaries of the proposed rezone site.

This space to be completed by the Planning Department:
Legal Description checked and approved by _____ Date _____

CERTIFICATION: I hereby certify that the information supplied to the City in this application is true to the best of my knowledge.

[Signature]
Signature of Owner or Agent for Owner

Engineering will require a site plan showing proposed parking configuration. Site distance O.K., Street, curb, sidewalks and gutters are sufficient. Access to 100th Ave W. ok. Parking to be on North side of property so as not to impact single family residence on south.

PROPERTY OWNERS WITHIN 80 FEET OF 23107 - 100th Ave. W.

Charles V. White
2352 Federal Ave. E.
Seattle, WA. 98102

Southland Corp.
Magnum Trusts
2828 North Haskell Ave.
Dallas, Texas

John Burdue
Box 807
North Bend, WA 98045

Arctic Circle, Inc.
Allen Freeman
Box 1565
Salt Lake City, Utah 84110

Ronald N. Fischer
9927 - 232nd S.W.
Edmonds

J E Sign Design, Inc.
9920 Edmonds Way
Edmonds

J. Dowell
9917 - 232nd S.W.
Edmonds

Burger Chef Systems, Inc.
250 North Street
White Plains, New York 10625

Robert Thorsen
9909 - 232nd S.W.
Edmonds

Olympic Bank
23028 - 100th Ave. W.
Edmonds

Lovell, Sauerland and Associates, Inc.
23106 - 100th Ave. W.
Edmonds

Lori Laffoon
23114 - 100th Ave. W.
Edmonds

The property at 23107 - 100th Ave. W., is presently owned by
Richard W. and Mary Ann Breen
1010 - 8th Ave. S.
Edmonds, WA

ENVIRONMENTAL CHECKLIST

A. BACKGROUND

1. Name of Proponent Bryce Black
2. Address and Phone Number of Proponent 18914 94th W., Edmonds, WA
3. Date Checklist Submitted _____
4. Agency Requiring Checklist Planning Commission
5. Name of Proposal, if applicable Re-zone from single family to neighborhood business
6. Nature and Brief Description of Proposal (including but not limited to its size, general design elements, and other factors that will give an accurate understanding of its scope and nature:
Convert present single family residence into approximately four (4) or five (5) offices for professional and business uses only
7. Location of Proposal (describe the physical setting of the proposal, as well as the extent of the land area affected by any environmental impacts, including any other information needed to give an accurate understanding of the environmental setting of the proposal):
23107-100th W., Edmonds. Present residence to be modified on interior for office space; exterior dimensions will not be changed; required hard surface parking area supplied; minimal exterior or land alteration. Present residential style exterior will be refurbished and maintained; except (over)
8. Estimated Date for Completion of the Proposal August 15, 1980
9. List of all Permits, Licenses, or Government Approvals Required for all Proposal (federal, state, and local — including rezones):
None required at this time. Building will be used as single family residence until approximately July of 1980.
10. Do you have any plans for future additions, expansions, or further activity related to or connected with this proposal? If yes, explain.
not presently
11. Do you know of any plans by others which may affect the property covered by your proposal? If yes, explain.
none known
12. Attach any other application form that has been completed regarding the proposal; if none has been completed, but is expected to be filed at some future date, describe the nature of such application form:
City of Edmonds Applications for Amendments attached

B. ENVIRONMENTAL IMPACTS (Explanations of all "yes" and "maybe" answers are required).

| | <u>YES</u> | <u>MAYBE</u> | <u>NO</u> |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------|--------------|-----------|
| 1. <u>Earth</u> . Will the proposal result in: | | | |
| a. Unstable earth conditions or in changes in geologic substructures? | — | — | <u>X</u> |
| b. Disruptions, displacements, compaction or overcovering of the soil? | — | — | <u>X</u> |
| c. Change in topography or ground surface relief features? | — | — | <u>X</u> |
| d. The destruction, covering or modification of any unique geologic or physical features? | — | — | <u>X</u> |
| e. Any increase in wind or water erosion of soils, either on or off the site? | — | — | <u>X</u> |
| f. Changes in deposition or erosion of beach sands, or changes in siltation, deposition or erosion which may modify the channel or a river or stream or the bed of the ocean or any bay, inlet or lake? | — | — | <u>X</u> |

Explanation: _____

| | | | |
|-----------------------------------------------------------------------------------------------------------------|---|---|----------|
| 2. <u>Air</u> . Will the proposal result in: | | | |
| a. Air emissions or deterioration of ambient air quality? | — | — | <u>X</u> |
| b. The creation of objectionable odors? | — | — | <u>X</u> |
| c. Alteration of air movement, moisture or temperature, or any change in climate, either locally or regionally? | — | — | <u>X</u> |

Explanation: _____

| | | | |
|----------------------------------------------------------------------------------------------------------|---|---|----------|
| 3. <u>Water</u> . Will the proposal result in: | | | |
| a. Changes in currents, or the course or direction of water movements, in either marine or fresh waters? | — | — | <u>X</u> |
| b. Changes in absorption rates, drainage patterns, or the rate and amount of surface water runoff? | — | — | <u>X</u> |

| | <u>YES</u> | <u>MAYBE</u> | <u>NO</u> |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------|--------------|-----------|
| c. Alterations to the course or flow of flood waters? | — | — | <u>X</u> |
| d. Change in the amount of surface water in any water body? | — | — | <u>X</u> |
| e. Discharge into surface waters, or in any alteration of surface water quality, including but not limited to temperature, dissolved oxygen or turbidity? | — | — | <u>X</u> |
| f. Alteration of the direction or rate of flow of ground waters? | — | — | <u>X</u> |
| g. Change in the quantity of ground waters, either through direct additions or withdrawals, or through interception of an aquifer by cuts or excavations? | — | — | <u>X</u> |
| h. Deterioration in ground water quality, either through direct injection, or through the seepage of leachate, phosphates, detergents, waterborne virus or bacteria, or other substances into the ground waters? | — | — | <u>X</u> |
| i. Reduction in the amount of water otherwise available for public water supplies? | — | — | <u>X</u> |

Explanation: _____

4. Flora. Will the proposal result in:

| | | | |
|---------------------------------------------------------------------------------------------------------------------------------------------------|---|----------|----------|
| a. Change in the diversity of species, or numbers of any species of flora (including trees, shrubs, grass, crops, microflora and aquatic plants)? | — | <u>X</u> | — |
| b. Reduction of the numbers of any unique, rare or endangered species of flora? | — | — | <u>X</u> |
| c. Introduction of new species of flora into an area, or in a barrier to the normal replenishment of existing species? | — | — | <u>X</u> |
| d. Recution in acreage of any agricultural crop? | — | — | <u>X</u> |

Explanation: Moderate increase of parking may require slight alteration in existing lawn and shrubs. This will be minimal and proponent intends to compensate by added plantings in immediate area.

- | | <u>YES</u> | <u>MAYBE</u> | <u>NO</u> |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------|--------------|-----------|
| 5. <u>Fauna</u> . Will the proposal result in: | | | |
| a. Changes in the diversity of species, or numbers of any species of fauna (birds, land animals including reptiles, fish and shellfish, benthic organisms, insects or microfauna)? | — | — | <u>X</u> |
| b. Reduction of the numbers of any unique, rare or endangered species of fauna? | — | — | <u>X</u> |
| c. Introduction of new species of fauna into an area, or result in a barrier to the migration or movement of fauna? | — | — | <u>X</u> |
| d. Deterioration to existing fish or wildlife habitat? | — | — | <u>X</u> |

Explanation: _____

- | | | | |
|---------------------------------------------------------------------|---|---|----------|
| 6. <u>Noise</u> . Will the proposal increase existing noise levels? | — | — | <u>X</u> |
|---------------------------------------------------------------------|---|---|----------|

Explanation: _____

- | | | | |
|---------------------------------------------------------------------------|---|---|----------|
| 7. <u>Light and Glare</u> . Will the proposal produce new light or glare? | — | — | <u>X</u> |
|---------------------------------------------------------------------------|---|---|----------|

Explanation: _____

- | | | | |
|----------------------------------------------------------------------------------------------------------------|----------|---|----------|
| 8. <u>Land Use</u> . Will the proposal result in the alteration of the present or planned land use of an area? | <u>✓</u> | — | <u>X</u> |
|----------------------------------------------------------------------------------------------------------------|----------|---|----------|

Explanation: Region will change use from single family residence to professional and business offices.

- | | | | |
|------------------------------------------------------------|--|--|--|
| 9. <u>Natural Resources</u> . Will the proposal result in: | | | |
|------------------------------------------------------------|--|--|--|

- | | | | |
|---------------------------------------------------------|---|---|----------|
| a. Increase in the rate of use of any natural resource? | — | — | <u>X</u> |
| b. Depletion of any nonrenewable natural resource? | — | — | <u>X</u> |

Explanation: _____

- | | <u>YES</u> | <u>MAYBE</u> | <u>NO</u> |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------|--------------|-----------|
| 10. <u>Risk of Upset.</u> Does the proposal involve a risk of an explosion or release of hazardous substances (including, but not limited to, oil, pesticides, chemicals or radiation) in the event of an accident or upset conditions? | — | — | <u>X</u> |
| Explanation: _____ | | | |
| _____ | | | |
| 11. <u>Population.</u> Will the proposal alter the location, distribution, density, or growth rate of the human population of an area? | — | — | <u>X</u> |
| Explanation: _____ | | | |
| _____ | | | |
| 12. <u>Housing.</u> Will the proposal affect existing housing, or create a demand for additional housing? | — | — | <u>X</u> |
| Explanation: _____ | | | |
| _____ | | | |
| 13. <u>Transportation/Circulation.</u> Will the proposal result in: | | | |
| a. Generation of additional vehicular movement? | — | <u>X</u> | — |
| b. Effects on existing parking facilities, or demand for new parking? | — | <u>X</u> | — |
| c. Impact upon existing transportation systems? | — | — | <u>X</u> |
| d. Alterations to present patterns of circulation or movement of people and/or goods? | — | — | <u>X</u> |
| e. Alterations to waterborne, rail or air traffic? | — | — | <u>X</u> |
| f. Increase in traffic hazards to motor vehicles, bicyclists or pedestrians? | — | — | <u>X</u> |
| Explanation: Professional and business offices might attract slightly more traffic and parking, but it is anticipated this will be such a moderate increase as to be unnoticeable to this area considering existing traffic patterns and surrounding business and commercial uses. <i>Five parking spaces will be required. These will be provided on site.</i> | | | |

| | <u>YES</u> | <u>MAYBE</u> | <u>NO</u> |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------|------------|--------------|-----------|
| 14. <u>Public Services.</u> Will the proposal have an effect upon, or result in a need for new or altered governmental services in any of the following areas: | | | |
| a. Fire protection? | ___ | ___ | <u>X</u> |
| b. Police protection? | ___ | ___ | <u>X</u> |
| c. Schools? | ___ | ___ | <u>X</u> |
| d. Parks or other recreational facilities? | ___ | ___ | <u>X</u> |
| e. Maintenance of public facilities, including roads? | ___ | ___ | <u>X</u> |
| f. Other governmental services? | ___ | ___ | <u>X</u> |
| Explanation: _____ | | | |
| _____ | | | |
| _____ | | | |
| 15. <u>Energy.</u> Will the proposal result in: | | | |
| a. Use of substantial amounts of fuel or energy? | ___ | ___ | <u>X</u> |
| b. Demand upon existing sources of energy, or require the development of new sources of energy? | ___ | ___ | <u>X</u> |
| Explanation: <u>will probably lessen energy uses, night occupancy,</u> | | | |
| <u>cooking and other household functions will be minimal and appliance</u> | | | |
| <u>usage Reduced.</u> | | | |
| _____ | | | |
| 16. <u>Utilities.</u> Will the proposal result in a need for new systems or alterations to the following utilities: | | | |
| a. Power or natural gas? | ___ | <u>X</u> | ___ |
| b. Communications systems? | ___ | <u>X</u> | ___ |
| c. Water? | ___ | ___ | ___ |
| d. Sewer or septic tanks? | ___ | ___ | ___ |
| e. Storm water drainage? | ___ | ___ | ___ |
| f. Solid waste and disposal? | ___ | ___ | ___ |
| Explanation: <u>Creating office space may require moderate alterations to</u> | | | |
| <u>existing interior electrical outlets and telephone lines and number</u> | | | |
| <u>of instruments.</u> | | | |
| _____ | | | |
| _____ | | | |
| _____ | | | |

- | | <u>YES</u> | <u>MAYBE</u> | <u>NO</u> |
|----------------------------------------------------------------------------------------------------------------------------------------------|---------------|---------------|--------------|
| 17. <u>Human Health.</u> Will the proposal result in the creation of any health hazard or potential health hazard (excluding mental health)? | <u> </u> | <u> </u> | <u> X </u> |

Explanation: _____

- | | | | |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------|---------------|--------------|
| 18. <u>Aesthetics.</u> Will the proposal result in the obstruction of any scenic vista or view open to the public, or will the proposal result in the creation of an aesthetically offensive site open to public view? | <u> </u> | <u> </u> | <u> X </u> |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------|---------------|--------------|

Explanation: _____

- | | | | |
|-----------------------------------------------------------------------------------------------------------------------------------|---------------|---------------|--------------|
| 19. <u>Recreation.</u> Will the proposal result in an impact upon the quality or quantity of existing recreational opportunities? | <u> </u> | <u> </u> | <u> X </u> |
|-----------------------------------------------------------------------------------------------------------------------------------|---------------|---------------|--------------|

Explanation: _____

- | | | | |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------|---------------|--------------|
| 20. <u>Archeological/Historical.</u> Will the proposal result in an alteration of a significant archeological or historical site, structure, object or building? | <u> </u> | <u> </u> | <u> X </u> |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------|---------------|--------------|

Explanation: _____

C. SIGNATURE

I, the undersigned, state that to the best of my knowledge the above information is true and complete. It is understood that the lead agency may withdraw any declaratic or non-significance that it might issue in reliance upon this checklist should there be any willful misrepresentation or willful lack of full disclosure on my part.

PROPONENT: 

Memo to: Architectural Design Board
From: Engineering Division
Subject: November 1980 A.D.B. Meeting
Page -3-

STREET FILE

ADB-82-80 (cont'd.)

A 24 foot access road is required. The existing curb cut will have to be removed and the sidewalk brought up to City standards. Further details on carport post sizes and location are required to insure that they won't interfere with stall widths. Parking stall dimensions shall be shown on plan. Underground wiring and a drainage plan, per Ordinance 1924, are also required.

ADB-85-80

JOHN PEZZA - Review of signs for real estate office at 23307 Highway #99.

Engineering has no comment on this item.

ADB-86-80

JERRY LOVELL - Review of elevations for office building at 23106 100th Ave. W.

The applicant should be made aware of the following requirements:

The parking layout presently exists as shown. If submitted as a new application, it would not pass City review. However, because it is a pre-existing situation, Engineering does not feel compelled to comment further on this item. Also, because there are no major water/sewer utility changes planned for the building, Engineering has no further comment on this item.

Patrick O. Wilson for JEA
JAMES E. ADAMS

DS/jf

D. Smith 10/28/80
D. Smith Dt
P.O. Wilson 10/29/80

STREET FILE
AGREEMENT AND COVENANTS

RECEIVED

DEC 17 1979

Dir. Of Public Works

WHEREAS, Richard Breen and Mary Ann Breen, husband and wife, hereinafter referred to jointly and severally as "Breen", have tendered this Agreement and Covenants to the City of Edmonds, a municipal corporation, hereinafter referred to as "Edmonds", and the same having been duly considered by Edmonds, and

WHEREAS, Breen has applied for a change in the zoning of the certain real property from Single-Family Residential 8,000 (RS 8) to Neighborhood Business (BN), and

WHEREAS, Edmonds has caused the application in its entirety, including, but not limited to the Environmental Checklist, to be reviewed by its Planning and Engineering Divisions and has fully considered recommendations made after such staff review, and

WHEREAS, Breen has tendered this Agreement and Covenants imposing certain limits on the use of said property, now, therefore,

IT IS HEREBY AGREED AS FOLLOWS:

1. Breen is the owner of the following described real property located at 23107 - 100th Avenue West, in the City of Edmonds, and legally described on Exhibit "A", attached hereto and incorporated by this reference as if set forth in full.
2. This Agreement is tendered by Breen to Edmonds and accepted by Edmonds, and all parties agree it is applicable

to the parties to this Agreement, their heirs, successors and assigns, both as to duties and benefits. The terms of this Agreement shall be specifically enforceable in equity by Edmonds.

3. Edmonds shall be under no obligation to issue Breen or their successors or assigns a building permit and/or other permits for improvements, structures or uses upon any of the subject property of Breen unless such improvements and/or uses comply with the terms of this Agreement and the applicable ordinances at the time of any application for said permits.

4. This Agreement and each part of it shall be considered covenants running with the land described in paragraph 1 and shall be binding upon Breen and their successors and/or assigns. It shall be recorded with the ? Snohomish County Auditor in the grantor/grantee index with Breen being listed as the grantor and Edmonds as grantee. All recording costs are to be paid by Breen. Such recordation and payment of said costs shall be a condition precedent to Breen exercising any rights under the terms of this Agreement.

5. In consideration of Edmonds reclassifying the subject real property from RS 8 to BN, and for so long as the property remains so classified, Breen covenants to limit the use of such property to a single family residence or professional offices, as defined by Section 12.12.170 of the Edmonds City Code, as now exists or as may hereafter be recodified.

6. No applications shall be made by Breen or their successors or assigns to amend this Agreement for a period of two (2) years from the date hereof. Thereafter, either Breen or their successors or assigns, or Edmonds may, upon application, apply to amend or terminate the provisions of this Agreement or to change the zoning on said property. Said application to change or terminate the provisions and covenants or to rezone said property shall be heard in the normal manner at appropriate public hearings as any other application for a rezone of property in the City of Edmonds. Such action by either party shall not release the other or its successors or its assigns from the obligations assumed under this Agreement, unless and until such application shall be duly approved by Edmonds.

7. In the event Edmonds brings suit to enforce any of the provisions of this Agreement and prevails in such litigation, then it shall be entitled to reimbursement of all costs for said litigation together with a sum as and for reasonable attorneys fees.

8. Breen shall furnish the City with a suitable title insurance report showing ownership of the property described in paragraph 1 as vested in Breen prior to rezone of the subject property.

~~9. This Agreement is effective and binding upon Breen only if this Agreement is executed and entered into by~~

*Q#137
11/11/79
G.H.B.
m.a.B.*

~~the City on or before December 31, 1979.~~

IN WITNESS WHEREOF, the parties have executed this
contract this 16 day of October, 1979.

Richard H. Breen

RICHARD BREEN

Mary Ann Breen

MARY ANN BREEN

CITY OF EDMONDS:

H. H. Harrison

MAYOR, H. H. HARRISON

ATTEST:

Irene Varney Moran

CITY CLERK, IRENE VARNEY MORAN

DATE: November 30, 1979

STATE OF WASHINGTON)
) ss.
COUNTY OF SNOHOMISH)

On this day personally appeared before me RICHARD W. Breen and Mary Ann Breen, to me known to be the individuals described in and who executed the within and foregoing instrument, and acknowledged that they signed the same as their free and voluntary act and deed, for the uses and purposes therein mentioned.

GIVEN under my hand and official seal this 16 day of October, 1979.

John A. Callahan
NOTARY PUBLIC in and for the
State of Washington, residing
at Redmond

STATE OF WASHINGTON)
) ss.
COUNTY OF SNOHOMISH)

On this 30th day of ~~October~~ November, 1979, before me, the undersigned, a Notary Public in and for the State of Washington, duly commissioned and sworn, personally appeared H. H. HARRISON and IRENE VARNEY MORAN, to me known to be the Mayor and City Clerk of the CITY OF EDMONDS, Washington, the municipal corporation that executed the foregoing instrument, and acknowledged the said instrument to be the free and voluntary act and deed of said municipal corporation, for the uses and purposes therein mentioned, and on oath stated that they were authorized to execute said instrument and that the seal affixed is the official seal of said municipal corporation.

WITNESS my hand and official seal hereto affixed the day and year first above written.

Jequeline G. Parrett
NOTARY PUBLIC in and for the
State of Washington, residing
at Edmonds

Lot 2, Bergquist Addition, according to the plat thereof recorded in Volume 15 of Plats, page 105, records of the Auditor of the County of Snohomish, State of Washington.
EXCEPT the West 7 1/2 feet thereof as condemned by the City of Edmonds by Decree entered under Snohomish County Superior Court Cause No. 106246.

EXHIBIT A

FILE

STREET FILE

RECEIVED

City Clerk
Civic Center
Edmonds
98020

AGREEMENT AND COVENANTS DEC 11 1979

Dir. Of Public Works

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WHEREAS, Breen has applied for a change in the zoning of the certain real property from Single-Family Residential 8,000 (RS 8) to Neighborhood Business (BN), and

WHEREAS, Edmonds has caused the application in its entirety, including, but not limited to the Environmental Checklist, to be reviewed by its Planning and Engineering Divisions and has fully considered recommendations made after such staff review, and

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2. This Agreement is tendered by Breen to Edmonds and accepted by Edmonds, and all parties agree it is applicable

7912040269

VOL 1640 PAGE 348

to the parties to this Agreement, their heirs, successors and assigns, both as to duties and benefits. The terms of this Agreement shall be specifically enforceable in equity by Edmonds.

3. Edmonds shall be under no obligation to issue Breen or their successors or assigns a building permit and/or other permits for improvements, structures or uses upon any of the subject property of Breen unless such improvements and/or uses comply with the terms of this Agreement and the applicable ordinances at the time of any application for said permits.

4. This Agreement and each part of it shall be considered covenants running with the land described in paragraph 1 and shall be binding upon Breen and their successors and/or assigns. It shall be recorded with the Snohomish County Auditor in the grantor/grantee index with Breen being listed as the grantor and Edmonds as grantee. All recording costs are to be paid by Breen. Such recordation and payment of said costs shall be a condition precedent to Breen exercising any rights under the terms of this Agreement.

5. In consideration of Edmonds reclassifying the subject real property from RS 8 to BN, and for so long as the property remains so classified, Breen covenants to limit the use of such property to a single family residence or professional offices, as defined by Section 12.12.170 of the Edmonds City Code, as now exists or as may hereafter be recodified.

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7. In the event Edmonds brings suit to enforce any of the provisions of this Agreement and prevails in such litigation, then it shall be entitled to reimbursement of all costs for said litigation together with a sum as and for reasonable attorneys fees.

8. Breen shall furnish the City with a suitable title insurance report showing ownership of the property described in paragraph 1 as vested in Breen prior to rezone of the subject property.

~~9. This Agreement is effective and binding upon Breen only if this Agreement is executed and entered into by~~

Q#137
11/11/79
G.M.B.
m.a.b.

~~the City on or before December 31, 1979.~~

IN WITNESS WHEREOF, the parties have executed this
contract this 16 day of October, 1979.

Richard H. Breen
RICHARD BREEN

Mary Ann Breen
MARY ANN BREEN

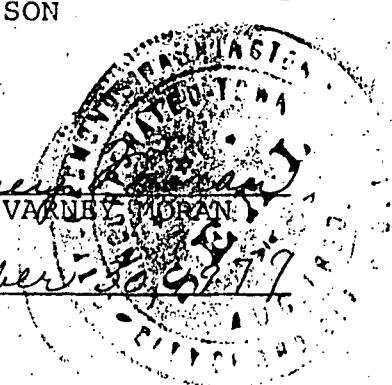
CITY OF EDMONDS:

H. H. Harrison
MAYOR, H. H. HARRISON

ATTEST:

Irene Varney
CITY CLERK, IRENE VARNY MORAN

DATE: November 30, 1979



City Clerk
Civic Center
Edmonds 98020

RECORDED

1979 DEC -4 PM 2:05

HENRY B. WHALEN, AUDITOR
SNOHOMISH COUNTY, WASH.

DEPUTY
Betty Danielson

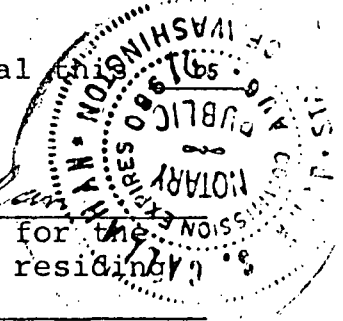
City Clerk
Civic Center
Edmonds 98020

STATE OF WASHINGTON)
) ss.
COUNTY OF SNOHOMISH)

On this day personally appeared before me RICHARD W. Breen and Mary Ann Breen, to me known to be the individuals described in and who executed the within and foregoing instrument, and acknowledged that they signed the same as their free and voluntary act and deed, for the uses and purposes therein mentioned.

GIVEN under my hand and official seal this 16th day of October, 1979.

John A. Callahan
NOTARY PUBLIC in and for the State of Washington, residing at Redmond

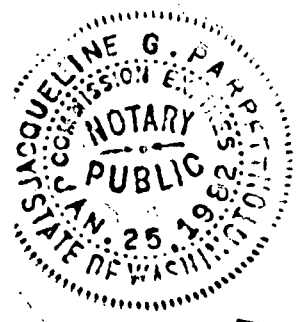
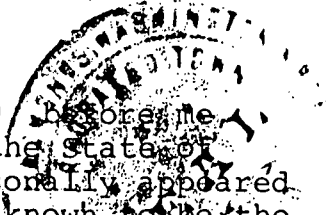


STATE OF WASHINGTON)
) ss.
COUNTY OF SNOHOMISH)

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WITNESS my hand and official seal hereto affixed the day and year first above written.

Jacqueline G. Parrett
NOTARY PUBLIC in and for the State of Washington, residing at Edmonds



7912040269

Lot 2, Bergquist Addition, according to the plat thereof recorded in Volume 15 of Plats, page 105, records of the Auditor of the County of Snohomish, State of Washington.

EXCEPT the West 7 1/2 feet thereof as condemned by the City of Edmonds by Decree entered under Snohomish County Superior Court Cause No. 106246.

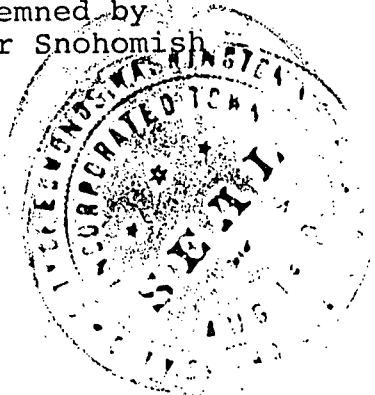


EXHIBIT A

STREET FILE

they wanted answered. He felt any problems now being experienced were the result of rumors and he said if anyone had gone to him he would have told them what the operation was. He stated that he does not own the property to the north of the club building, owning only as far as the end of the building. He said there is only an 8'x 24' space utilized as a kitchen and no outside venting so they cannot put in a full kitchen. He displayed photographs of the kitchen and the eating area, noting that there are four very small tables and low lounging furniture in front of two glass-backed rectangular courts. A sign states the club is for members and guests only. He also distributed advertising literature which states it is a private membership club, and he noted that the initiation fee to join is \$375 for an individual or \$500 for a family, in addition to monthly dues. He said the members who paid such amounts for joining would not allow the club to draw in people who hang around the 7-11 or drink in the parking lot. He stated the liquor license would not impact the neighborhood, as any impact would already have come from the building's being there, and he said every athletic club in the area has a liquor service and they don't have any problems. Ben Hopper of 24215 76th W., directly across the street from the club, said he did not want people across the street drinking and entering 76th Ave. while he is there. He said there are a number of places in the area that offer liquor and he did not think another one was needed. Charlene Howsen of 3415 N.W. 65th, Seattle, said she has the contract to serve the food at the club, which includes soft drinks, juices, and simple foods. She said very few outsiders wander through the front door and people who do are just asking about the racketball, not to seek food or beverages. She felt the club was a good environment and she could see no problem in having beer and wine along with the food. Ron Norman of 21004 Woodlake Dr., a member of the club, said he would really enjoy being able to have a beer after playing a game of racquetball. He felt the club was so beneficial that he had gotten his company to support getting other employees to participate. The public portion of the hearing was closed. COUNCILMAN CARNS MOVED, SECONDED BY COUNCILMAN NAUGHTEN, THAT THE COUNCIL SUPPORT THE ISSUANCE OF A BEER AND WINE LICENSE TO THE FIRST SERVE RACQUETBALL CLUB. Councilman Gould commented that he thought the hearing process was a good one, noting that the Council's concerns usually focus on proximity to schools and young children and nearby businesses and their operations. He did not believe the issuance of this license would be detrimental, but he felt the Council had an obligation to watch it and cause it to be withdrawn if a problem should develop. THE MOTION CARRIED, WITH COUNCILMEN NORDQUIST AND KASPER VOTING NO.

MOTION:

HEARING ON CONTRACT REZONE FROM RS-8 TO BN PROPERTY LOCATED AT 23107 100TH AVE. W. (File R-6-79 - Bryce Black)

Ms. Block stated that the purpose of the proposed rezone was for a law office, and the applicants were agreeing to use the site for only professional offices or single family residential purposes. She felt this would be a transitional use between the residential and commercial zoning on either side. She noted that the Planning Commission had been concerned because this property is tangent to single family zoning and had suggested that office hours be limited to something like 8:00 a.m. to 5:00 p.m., five or six days a week. The public portion of the hearing was opened. Richard Breen of 1010 8th Ave. S., owner of the property, said the intent was to get the property rezoned and then possibly Bryce Black would again be interested in it. The property currently has a rental house on it and Mr. Black's intention had been to keep it so until he was ready to put an attorney's office there. The public portion of the hearing was closed. COUNCILMAN CARNS MOVED, SECONDED BY COUNCILWOMAN ALLEN, TO ADOPT ORDINANCE 2102, APPROVING THE CONTRACT REZONE IN FILE R-6-79, AND THAT THE MAYOR BE AUTHORIZED TO SIGN THE CONTRACT. Councilman Gould commented that the proposed zoning change conformed to the Comprehensive Plan and the changes in the character and conditions of the surrounding neighborhood justified the change. He felt the proposed change was consistent with the general criteria for rezones. THE MOTION CARRIED.

MOTION:

REVIEW OF TEMPORARY STREET USE PERMIT - CLAIRE'S PANTRY

Public Works Director Fred Herzberg stated that the owner of Claire's Pantry was negotiating with Mr. Hubbard for space to place the dumpsters. COUNCILMAN NORDQUIST MOVED, SECONDED BY COUNCILMAN HERB, TO CONTINUE THIS MATTER FOR 30 DAYS. A ROLL CALL VOTE WAS TAKEN, WITH COUNCIL MEMBERS NORDQUIST, HERB, GOULD, CARNS, AND NAUGHTEN VOTING YES, AND WITH COUNCIL MEMBERS KASPER AND ALLEN VOTING NO. MOTION CARRIED.

MOTION:

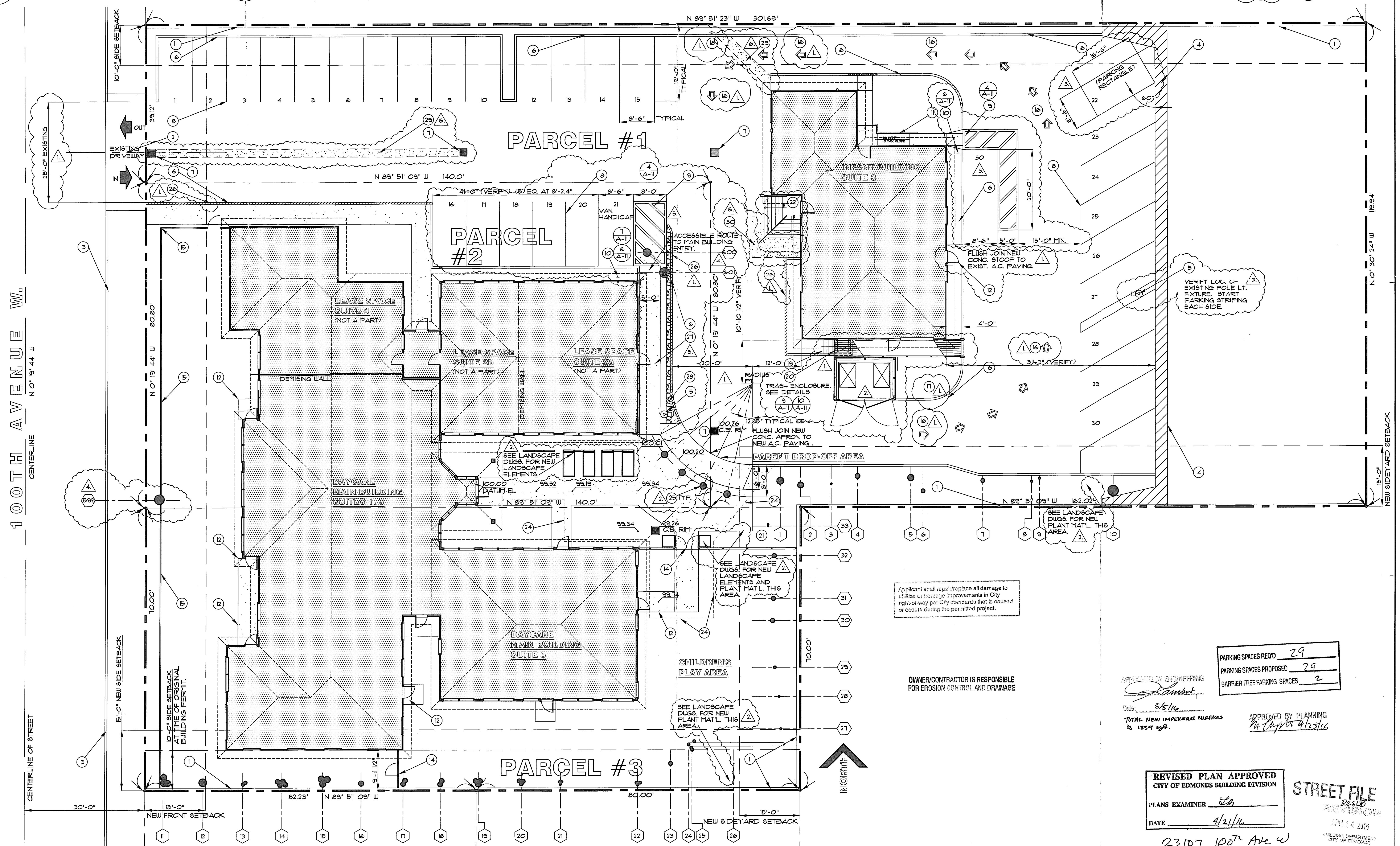
*Public
Works Dir
City Clerk*

EXISTING TREE INVENTORY @ SOUTH PROPERTY LINES:

| KEY NUMBER | DESCRIPTION: | DISPOSITION: | KEY NUMBER | DESCRIPTION: | DISPOSITION: | KEY NUMBER | DESCRIPTION: | DISPOSITION: |
|------------|---------------------------------------------|--------------------------------------------------|------------|------------------------------------------------|------------------------------------------------------------------------|------------|-------------------------------------------------|------------------------------------------------------------------------|
| 1 | 22" TRUNK DIAM. WESTERN RED CEDAR | TO BE REMOVED - DUE TO UNSTABLE CONDITION. | 12 | 24" TRUNK DIAM. WESTERN RED CEDAR | TO REMAIN. | 23 | 13" TRUNK DIAM. WESTERN RED CEDAR | TO REMAIN. |
| 2 | 19" TRUNK DIAM. CHERRY | TO BE REMOVED DUE TO EXIST. COMPLICATED GROWTH. | 13 | (22) 11" DIAM. MULTI-TRUNK WESTERN RED CEDAR | TO REMAIN. | 24 | 1-1/2" TRUNK DIAM. EVERGREEN SHRUB | TO REMAIN. |
| 3 | 1" TRUNK DIAM. WESTERN RED CEDAR | TO REMAIN. | 14 | (4) 15" DIAM. MULTI-TRUNK WESTERN RED CEDAR | TO REMAIN. | 25 | (5) 12"-15" DIAM. MULTI-TRUNK WESTERN RED CEDAR | TO BE REMOVED - DUE TO HAZARDOUS CONDITION. |
| 4 | 16" TRUNK DIAM. WESTERN RED CEDAR | TO REMAIN. | 15 | (3) 20" DIAM. MULTI-TRUNK WESTERN RED CEDAR | TO REMAIN. | 26 | 2" TRUNK DIAM. PLUM. | TO BE REMOVED - DUE TO LOCATION - PLAY AREA. |
| 5 | 20" TRUNK DIAM. WESTERN RED CEDAR | TO REMAIN. | 16 | 17" TRUNK DIAM. WESTERN RED CEDAR | TO REMAIN. | 27 | 1" TRUNK DIAM. WESTERN RED CEDAR | TO BE REMOVED - DUE TO LOCATION - PLAY AREA. |
| 6 | 13" TRUNK DIAM. WESTERN RED CEDAR | TO REMAIN. | 17 | (2) 15" DIAM. MULTI-TRUNK WESTERN RED CEDAR | TO REMAIN. | 28 | 1" TRUNK DIAM. WESTERN RED CEDAR | TO REMAIN. |
| 7 | 13" TRUNK DIAM. WESTERN RED CEDAR | TO REMAIN. | 18 | (2) 16" DIAM. MULTI-TRUNK WESTERN RED CEDAR | TO REMAIN. | 29 | 9-1/2" TRUNK DIAM. WESTERN RED CEDAR | TO REMAIN. |
| 8 | 8" TRUNK DIAM. WESTERN RED CEDAR | TO REMAIN. | 19 | (3) 15" DIAM. MULTI-TRUNK WESTERN RED CEDAR | TO REMAIN. | 30 | 14" TRUNK DIAM. WESTERN RED CEDAR | TO REMAIN. |
| 9 | 8" TRUNK DIAM. CHERRY | TO REMAIN. | 20 | (3) 15" DIAM. MULTI-TRUNK WESTERN RED CEDAR | TO REMAIN. | 31 | 14" TRUNK DIAM. WESTERN RED CEDAR | TO REMAIN. |
| 10 | 32" TRUNK DIAM. PINE | TO REMAIN. | 21 | (3) 6"-8" DIAM. MULTI-TRUNK WESTERN RED CEDAR | TO REMAIN. | 32 | 14" TRUNK DIAM. WESTERN RED CEDAR | TO REMAIN. |
| 11 | (3) 20" DIAM. MULTI-TRUNK WESTERN RED CEDAR | TO REMAIN. | 22 | (3) 8"-10" DIAM. MULTI-TRUNK WESTERN RED CEDAR | TO REMAIN. | 33 | (2) 6" DIAM. MULTI-TRUNK WESTERN RED CEDAR | TO REMAIN. |
| 593 | 23" TRUNK DIAM. SCOTCH PINE | TO BE REMOVED - DUE TO DISEASE AND POOR PRUNING. | 600 | 24" TRUNK DIAM. FIR | TO BE REMOVED - DUE TO PROXIMITY TO BLDG. AND TO ALLOW FOR ADA ACCESS. | 601 | 36" TRUNK DIAM. FIR | TO BE REMOVED - DUE TO PROXIMITY TO BLDG. AND TO ALLOW FOR ADA ACCESS. |

SITE DEVELOPMENT NOTES:

- EXISTING WOOD FENCE ALONG PROPERTY LINE TO REMAIN.
- EXISTING 25' WIDE DRIVEWAY AND CURB CUT TO REMAIN.
- EXISTING CONCRETE CURB AND SIDEWALK TO REMAIN.
- EXISTING ROCK RUBBLE RETAINING WALL TO REMAIN.
- EXISTING SITE LIT. FIXTURE ON CONC. PEDESTAL TO REMAIN.
- EXISTING CONC. CURB OR PAVEMENT EDGE TO REMAIN.
- EXISTING CONC. CATCH BASIN AND CONNECTION TO STORM DRAIN SYSTEM TO REMAIN.
- ALL PARKING STRIPING TO BE REDONE PER CITY OF EDMONDS STANDARDS.
- HANDICAPPED PARKING STRIPING TO BE PER CITY OF EDMONDS AND ADA STANDARDS.
- HANDICAPPED SIGNAGE TO BE PER CITY OF EDMONDS AND ADA STANDARDS; AND PER DETAIL IF REFERENCED.
- NEW HANDICAPPED RAMP AND HANDRAIL CONFORMING TO CITY OF EDMONDS AND ADA STANDARDS; AND PER DETAIL IF REFERENCED.
- NEW CONC. STOOPS, STEPS, AND PAVING TO MATCH EXISTING.
- NEW CURB CUT, PAVING, AND CONCRETE BOLLARDS AT DROP-OFF TO BE PER DETAIL AS REFERENCED.
- NEW 6'-0" HIGH CEDAR FENCING, 4 x 4 SUPPORT POSTS, AND GATE W/ SECURITY LATCHING AT CHILDREN'S PLAY AREA.
- NEW 3'-0" HIGH CEDAR PICKET FENCING W/ GATES AND LATCHING HARDWARE BEHIND EXISTING HEDGE LANDSCAPING.
- NEW PAINTED DIRECTIONAL ARROWS ON A.C. PAVING TO MEET CITY OF EDMONDS STANDARDS.
- NEW POLE MOUNTED SIGNAGE TO MEET CITY OF EDMONDS STANDARDS W/ TEXT "DO NOT ENTER - EXIT ONLY".
- NEW POLE MOUNTED SIGNAGE TO MEET CITY OF EDMONDS STANDARDS W/ TEXT "DO NOT ENTER - EXIT ONLY - ONE WAY".
- EXISTING STAIR TO UNDERFLOOR ACCESS AREA TO REMAIN BELOW - NEW EXTERIOR WOOD DECK.
- NEW WOOD FRAMED EGRESS DECK FOR SECONDARY EXIT PURPOSES. DECKING WILL DAYLIGHT AT EAST END AT EXISTING PARKING AREA FINISH PAVING. PERIMETER OF DECK TO INCLUDE 42" HIGH ALUMINUM GUARDRAIL.
- NEW LANDSCAPE AREA ADJACENT TO NEW TRASH ENCLOSURE.
- NEW ENTRY STAIR AND LANDING W/ HANDRAILS AS SHOWN TO MEET CODE REQUIREMENTS. SEE FLOOR PLAN AND REFERENCED DETAILS, SHEET A-2 AND A-11.
- A HANDICAPPED, ACCESSIBLE ROUTE WILL EXTEND FROM THE NEW PARENT DROP-OFF AREA VIA LARGE CURB CUT, PAVED WALKWAY TO AND THROUGH THE MODIFIED ENTRY Foyer Doors. INCLUDED WILL BE PAVED AREAS MEETING SLOPE REQUIREMENTS, MAXIMUM THRESHOLD HEIGHT AT THE ENTRY DOORS, AND FINISH HARDWARE AT THE ENTRY DOORS TO COMPLY WITH ACCESSIBILITY REQUIREMENTS.
- EXISTING EXPOSED AGGREGATE SIDEWALK AND ASPHALT PAVING AT EXISTING ENTRY WALKWAY AND PARKING AREA TO BE REMOVED.
- NEW 18" DIAMETER CONCRETE BOLLARDS BY ARCHITECTURAL AREA LIGHTING, 41" HIGH W/ TILED-W/ LAMP/BALLAST, 198 CONCRETE FINISH, AND INTERNAL MOUNTING - TYPICAL OF (4).
- CONCRETE CURB/PAVING TO BE STRIPED "NO PARKING - FIRE LANE" WHERE SHOWN PER CITY OF EDMONDS STANDARDS AND TO APPROVAL OF THE FIRE MARSHAL.
- NEW CONCRETE WALKWAY AND STOOP PROVIDING ADA ACCESSIBLE ACCESS TO EXIST. TENANT SPACE, AND TO PROVIDE AN ADA ACCESSIBLE ROUTE FROM THE RELOCATED H.C. PARKING STALL TO THE NEW MAIN BUILDING ENTRY.
- NEW ROCK REVETMENT TO STABILIZE EDGE OF A.C. PAVING AND TO MAKE GRADE ELEVATION TRANSITION TO NEW CONC. SIDEWALK.
- REPLACE A.C. PAVING TO MATCH EXIST. AT REPLACED STORM DRAIN LINE OR SEWER LINE REPLACEMENT. FLUSH JOIN TO EXIST.
- REPLACE LIMITED AREA OF A.C. PAVING IN ORDER TO TRANSITION TO NEW STAIR CONSTRUCTION ELEVATIONS TO MEET CODE. FLUSH JOIN TO OUTER EDGES OF EXISTING A.C. PAVING.



Applicant shall repair/replace all damage to utilities or frontage improvements in City right-of-way per City standards that is caused or occurs during the permitted project.

OWNER/CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL AND DRAINAGE

| | |
|-----------------------------|----|
| PARKING SPACES RECD | 29 |
| PARKING SPACES PROPOSED | 29 |
| BARRIER FREE PARKING SPACES | 2 |

APPROVED BY ENGINEERING

Date: 5/5/16

TOTAL NEW IMPROVEMENTS SURFACES IS 13541 sqft.

APPROVED BY PLANNING

REVISED PLAN APPROVED
CITY OF EDMONDS BUILDING DIVISION
PLANS EXAMINER: [Signature]
DATE: 4/21/16

STREET FILE
23107 100th Ave W
BLD 20150962

SITE PLAN SCALE: 1" = 10'-0"

PROJECT: TRIKE STOP DAYCARE CENTER
MAIN BUILDING, SUITES 1, 5, 6
23107 100th Avenue W, Edmonds, WA 98020
For: Mrs. Autumn Snow

Richard A. Okamoto Architect, Inc.
Architecture • Planning • Restaurant Interiors
9924 - 225th Place SW, Edmonds, WA 98020
(425) 957-0983 Cell: raokamoto@mspring.com

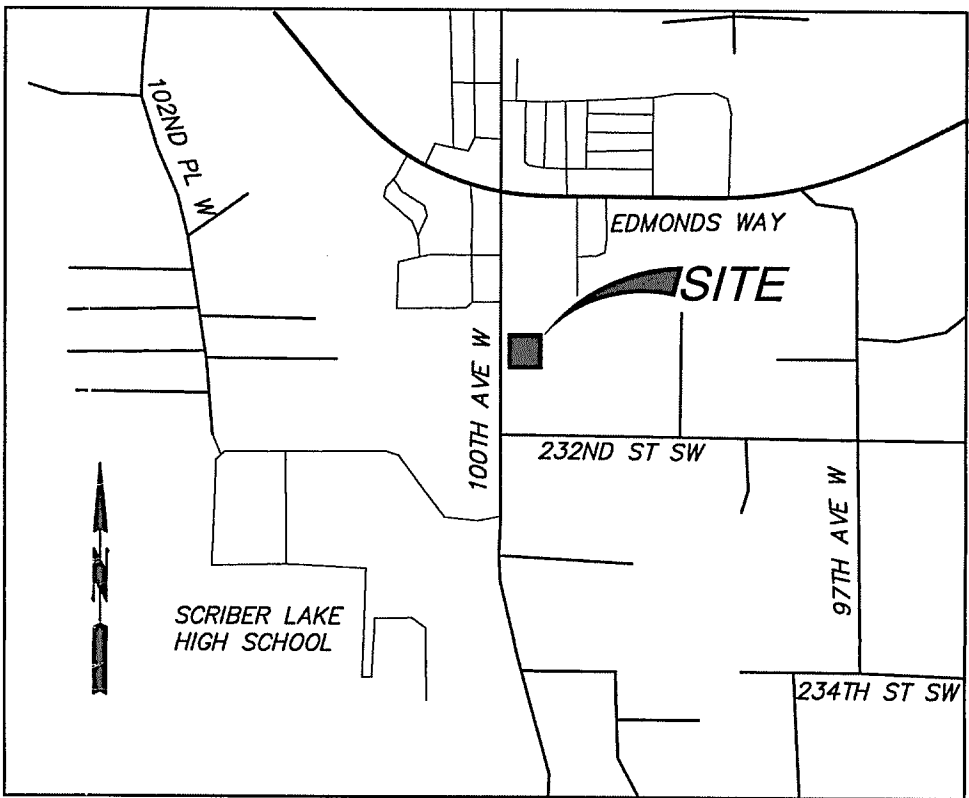
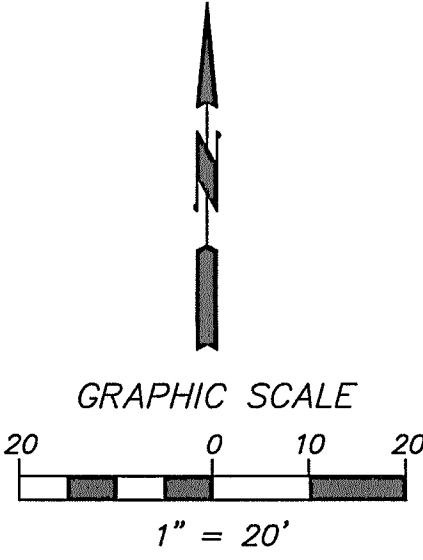
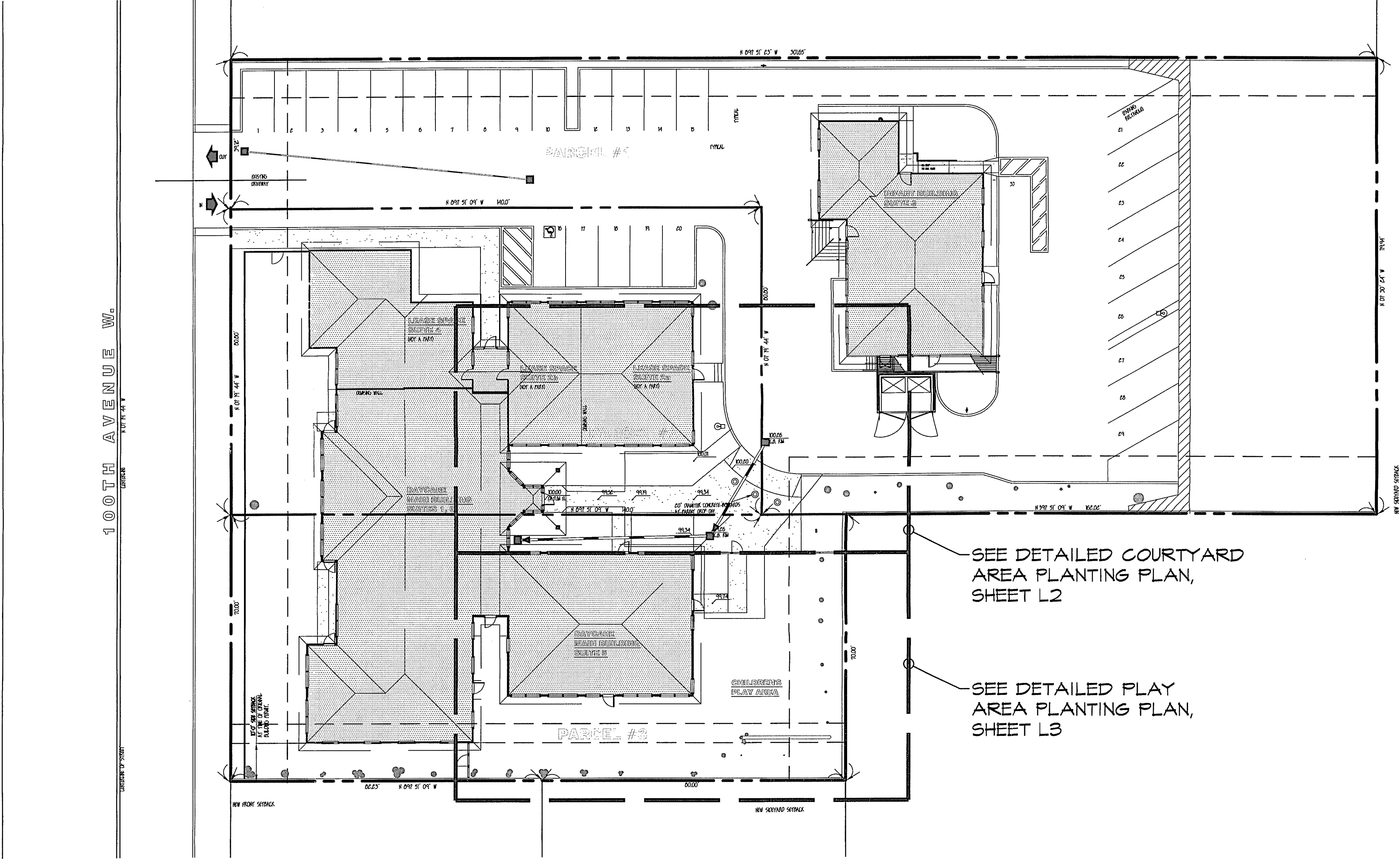
REGISTERED ARCHITECT
No. 14111
Expires 12/31/2016

TITLE: SITE PLAN
SITE DEV. NOTES

JOB NO.: 2014/111
DATE: 12 APRIL 2016
SCALE: AS NOTED
DESIGNER: RAOARCH

SHEET NO. XSP

PTN. NW 1/4, NE 1/4, SECTION 40, TOWNSHIP 27 NORTH, RANGE 3 EAST, W.M.
CITY OF EDMONDS



VICINITY MAP
NOT TO SCALE

PROJECT CONTACT INFORMATION:

OWNER: MRS. AUTUMN SNOW
22309 16TH AVENUE WEST
EDMONDS, WA 98026
425.350.4111

ARCHITECT & PROJECT MANAGER: RICHARD A. OKIMOTO ARCHITECT, INC.
9424 225TH PLACE SW
EDMONDS, WA 98020
425.697.0983
RAOARCH@MINDSPRING.COM

LANDSCAPE ARCHITECT: RUBENKONIG PLANNING AND LANDSCAPE ARCHITECTURE, PLLC
JOHN RUBENKONIG, ASLA
8218 210TH PLACE SW
EDMONDS, WA 98026
206.491.9621
RUBENKONIGPLA@MSN.COM

PROJECT LOCATION:

TRIKE STOP DAYCARE CENTER
23107 100TH AVENUE WEST
EDMONDS, WA 98020

SITE DATA:

SITE SIZE: 47,580 SF ± 1.09 ACRES

TAX PARCEL No.: 00391400000100 (PARCEL #1)
00391400000200 (PARCEL #2)
00391400000300 (PARCEL #3)

APPROVED BY ENGINEERING
[Signature]
Date: 5/5/16
SEE SHEET 'PSP' FOR EXHIBITS AND PRELIMINARY REQUIREMENTS.

APPROVED BY PLANNING
[Signature] 3/10/16
[Signature] 4/25/16
REVISION
RESUB
Sheet 16
APR 14 2016
BUILDING DEPARTMENT
CITY OF EDMONDS

SUBMITTED FOR FIRST REVIEW DECEMBER 17, 2015

SHEET INDEX FOR CONSTRUCTION DOCUMENTS

- L1 - COVER SHEET & SITE PLAN
- L2 - ENTRY COURTYARD DEMOLITION, PLANTING, & PAVING PLAN
- L3 - PLAY AREA IMPROVEMENT PLAN
- L4 - PERIMETER SCREENING PLAN
- L5 - DETAILS & NOTES
- L6 - PAVING PLAN

STREET FILE
302015-0962
23107 100th Ave W

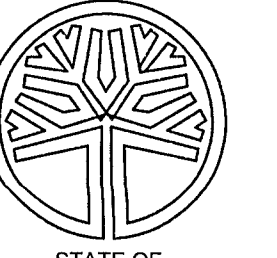
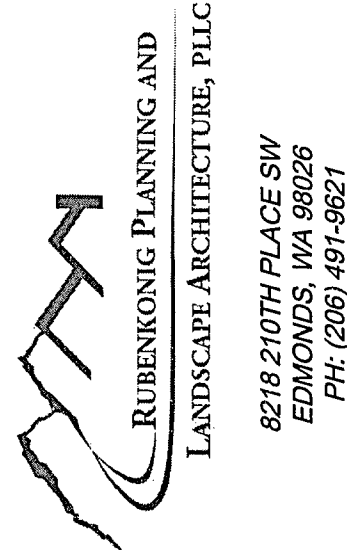
| DESIGN GROUP | PROJECT MANAGER | DESIGNED | CHECKED | DATE | TRIME CVDWG | FILE NAME |
|--------------------------|--------------------------|----------|---------|---------|-------------|-----------|
| JOHN E. RUBENKONIG, ASLA | JOHN E. RUBENKONIG, ASLA | AKB | CHG | 19/2016 | | |
| DATE | DATE | DATE | DATE | DATE | DATE | DATE |
| NO. | NO. | NO. | NO. | NO. | NO. | NO. |
| BY | BY | BY | BY | BY | BY | BY |
| OK | OK | OK | OK | OK | OK | OK |

COVER SHEET & SITE PLAN

MRS. AUTUMN SNOW
TRIKE STOP DAYCARE CENTER
23107 100TH AVENUE WEST

WASHINGTON

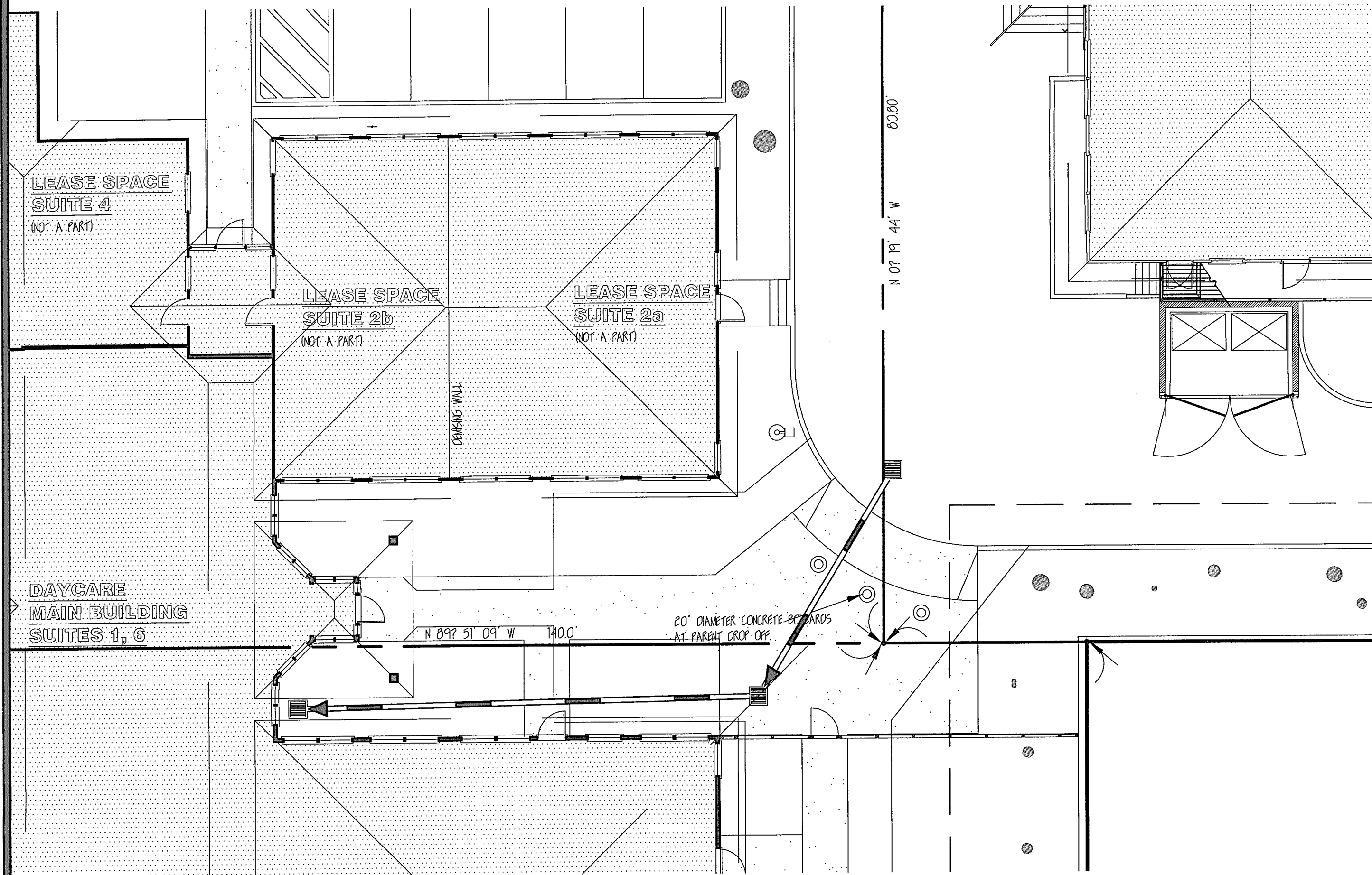
EDMONDS



JOHN E. RUBENKONIG
CERTIFICATE NO. 574

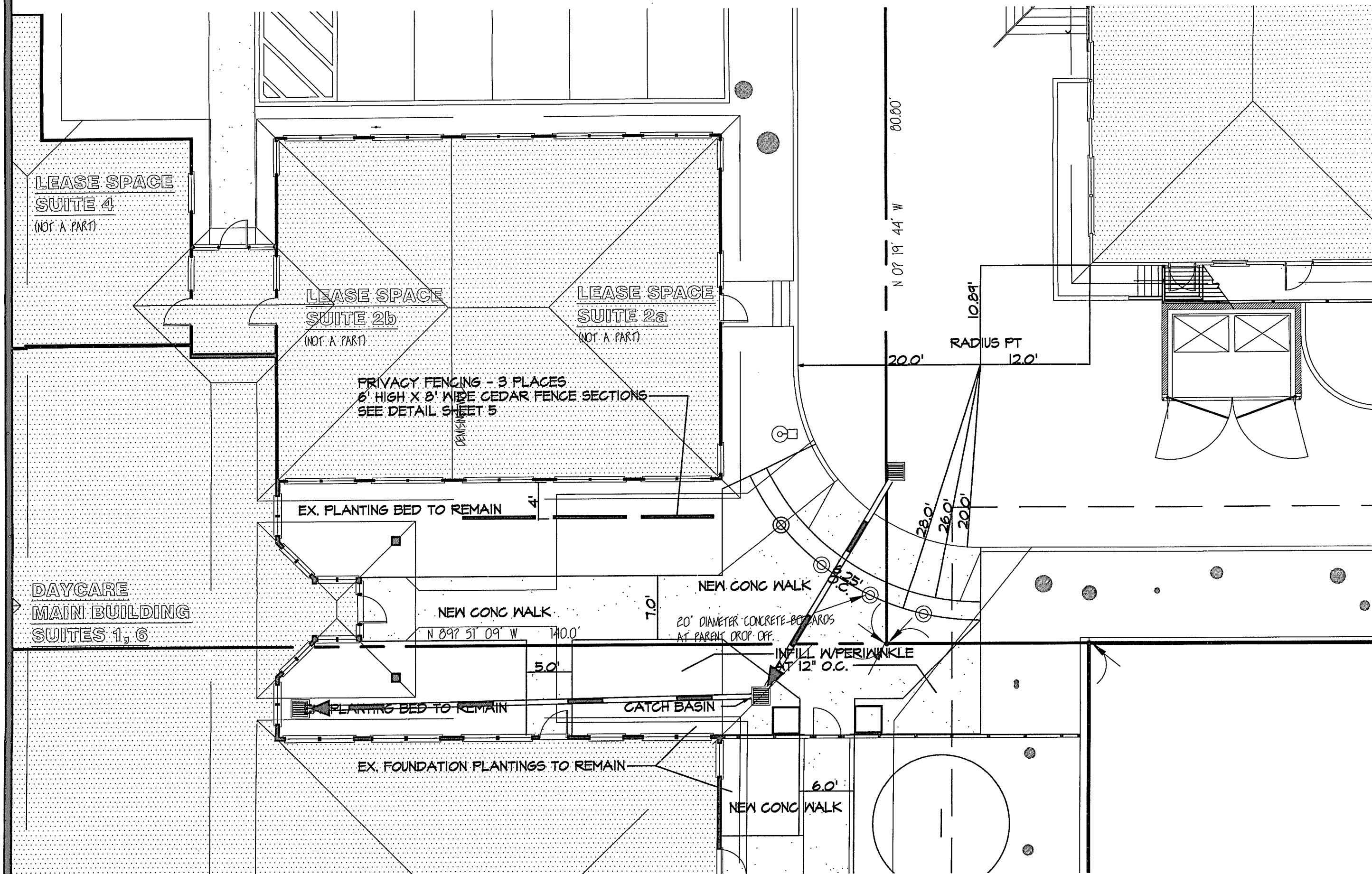
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UNLESS SIGNED AND DATED

JOB NUMBER: TRIKE STOP
SHEET NUMBER: L1 OF 6



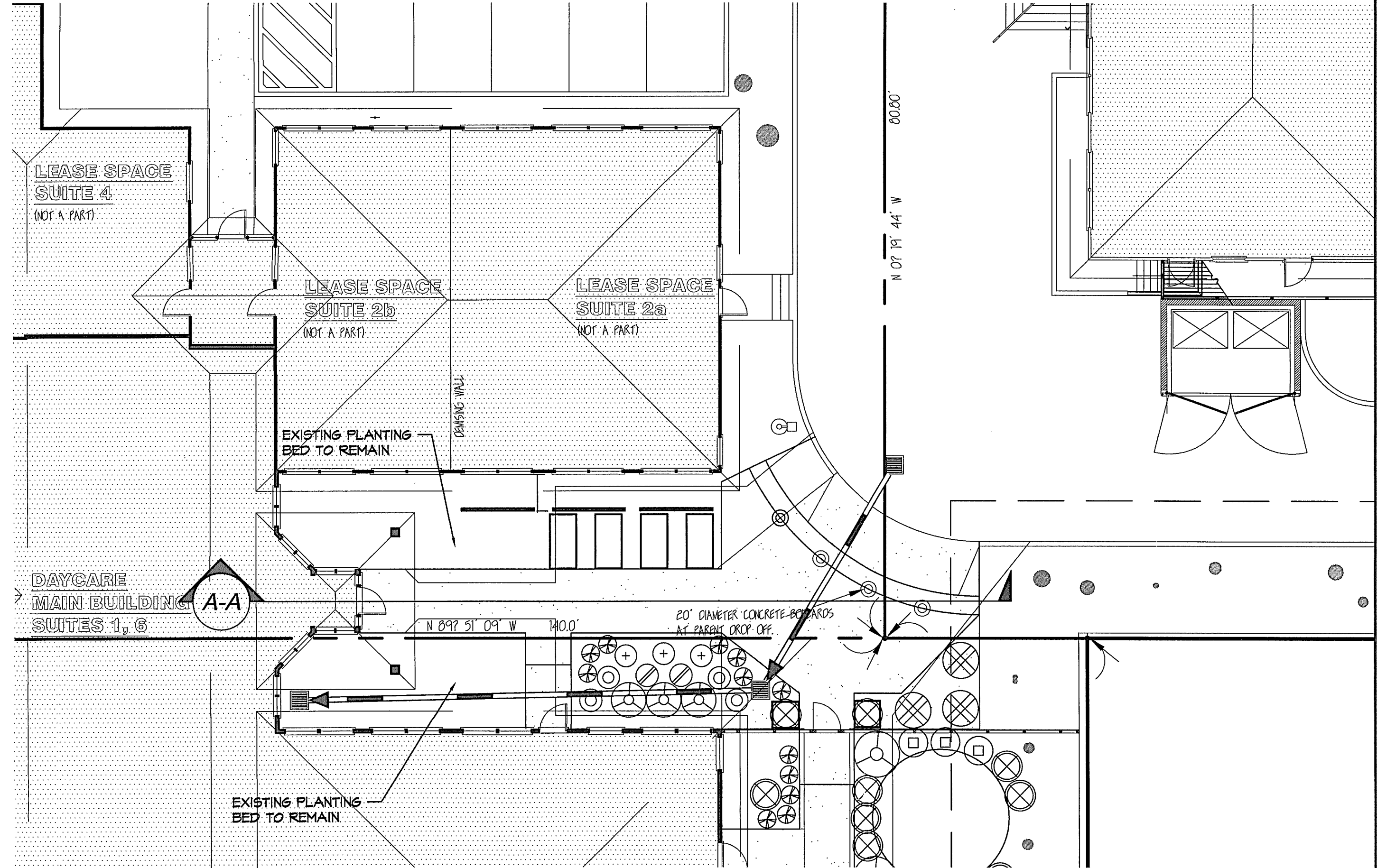
COURTYARD AREA DEMOLITION PLAN

SCALE: 1" = 10'



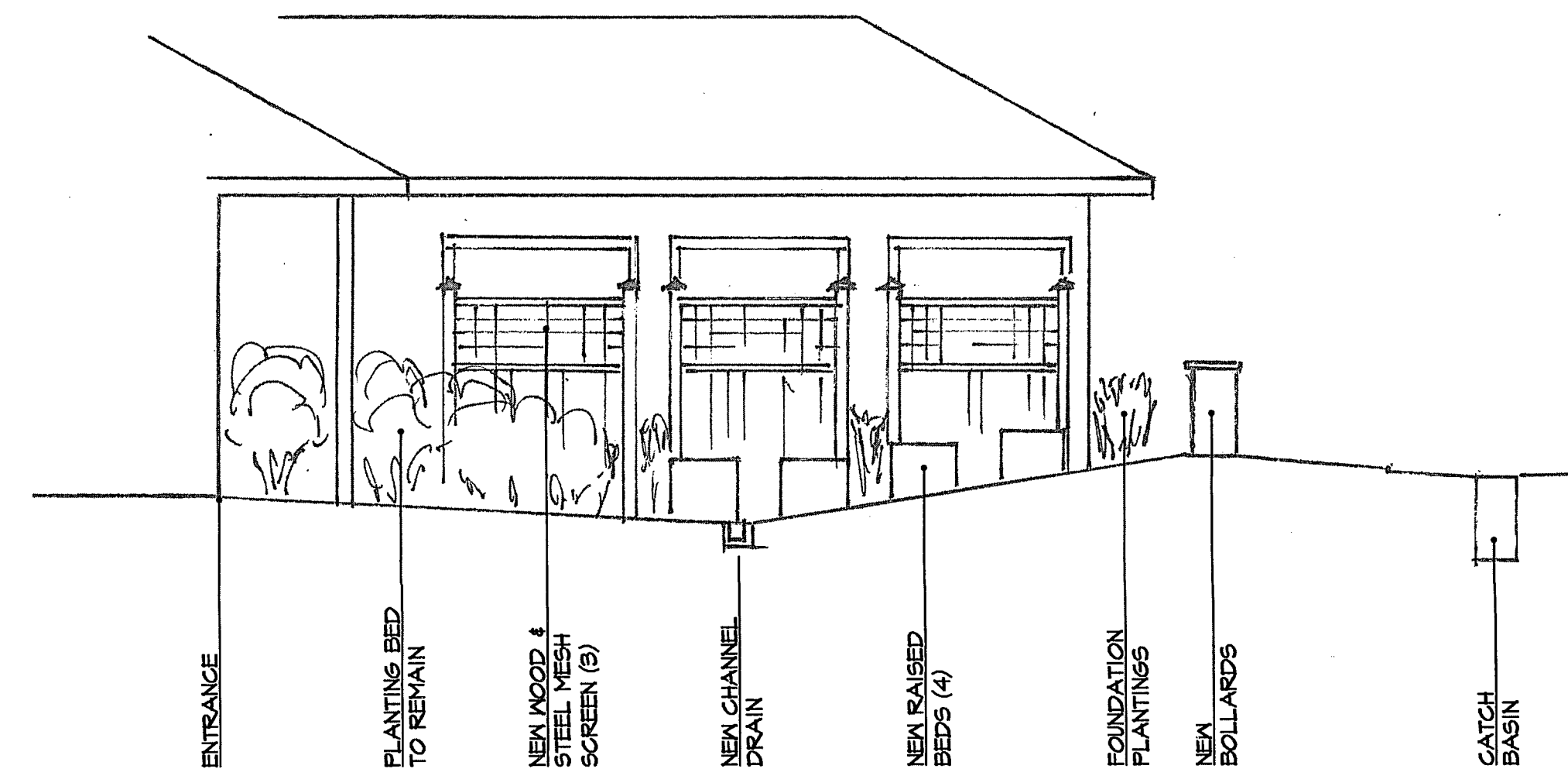
DRAINAGE & LAYOUT PLAN

SCALE: 1" = 10'



DETAILED COURTYARD AREA PLANTING PLAN

SCALE: 1" = 10'



COURTYARD WALKWAY SECTION A-A

LOOKING NORTH - SCALE: 1" = 5'

| NO. | DATE | REVISION |
|-----|---------|---------------------------|
| 1 | 18/2016 | TRIKE STOP DAYCARE CENTER |
| 2 | 18/2016 | TRIKE STOP DAYCARE CENTER |
| 3 | 18/2016 | TRIKE STOP DAYCARE CENTER |
| 4 | 18/2016 | TRIKE STOP DAYCARE CENTER |
| 5 | 18/2016 | TRIKE STOP DAYCARE CENTER |
| 6 | 18/2016 | TRIKE STOP DAYCARE CENTER |
| 7 | 18/2016 | TRIKE STOP DAYCARE CENTER |
| 8 | 18/2016 | TRIKE STOP DAYCARE CENTER |
| 9 | 18/2016 | TRIKE STOP DAYCARE CENTER |
| 10 | 18/2016 | TRIKE STOP DAYCARE CENTER |
| 11 | 18/2016 | TRIKE STOP DAYCARE CENTER |
| 12 | 18/2016 | TRIKE STOP DAYCARE CENTER |
| 13 | 18/2016 | TRIKE STOP DAYCARE CENTER |
| 14 | 18/2016 | TRIKE STOP DAYCARE CENTER |
| 15 | 18/2016 | TRIKE STOP DAYCARE CENTER |
| 16 | 18/2016 | TRIKE STOP DAYCARE CENTER |
| 17 | 18/2016 | TRIKE STOP DAYCARE CENTER |
| 18 | 18/2016 | TRIKE STOP DAYCARE CENTER |
| 19 | 18/2016 | TRIKE STOP DAYCARE CENTER |
| 20 | 18/2016 | TRIKE STOP DAYCARE CENTER |

| DESIGN GROUP | PROJECT MANAGER | DESIGNED | CADD | CHECKED | DATE | FILE NAME |
|-------------------------|-------------------------|-------------------------|-------------------------|-------------------------|---------|---------------------------|
| JOHN E. RUBENKONG, ASLA | JOHN E. RUBENKONG, ASLA | JOHN E. RUBENKONG, ASLA | JOHN E. RUBENKONG, ASLA | JOHN E. RUBENKONG, ASLA | 18/2016 | TRIKE STOP DAYCARE CENTER |
| JOHN E. RUBENKONG, ASLA | JOHN E. RUBENKONG, ASLA | JOHN E. RUBENKONG, ASLA | JOHN E. RUBENKONG, ASLA | JOHN E. RUBENKONG, ASLA | 18/2016 | TRIKE STOP DAYCARE CENTER |
| JOHN E. RUBENKONG, ASLA | JOHN E. RUBENKONG, ASLA | JOHN E. RUBENKONG, ASLA | JOHN E. RUBENKONG, ASLA | JOHN E. RUBENKONG, ASLA | 18/2016 | TRIKE STOP DAYCARE CENTER |
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| JOHN E. RUBENKONG, ASLA | JOHN E. RUBENKONG, ASLA | JOHN E. RUBENKONG, ASLA | JOHN E. RUBENKONG, ASLA | JOHN E. RUBENKONG, ASLA | 18/2016 | TRIKE STOP DAYCARE CENTER |
| JOHN E. RUBENKONG, ASLA | JOHN E. RUBENKONG, ASLA | JOHN E. RUBENKONG, ASLA | JOHN E. RUBENKONG, ASLA | JOHN E. RUBENKONG, ASLA | 18/2016 | TRIKE STOP DAYCARE CENTER |

ENTRY COURTYARD DEMOLITION, PLANTING, & PAVING PLAN

MRS. AUTUMN SNOW
TRIKE STOP DAYCARE CENTER
23107 100TH AVENUE WEST
WASHINGTON

EDMONDS

RUBENKONG PLANNING AND
LANDSCAPE ARCHITECTURE, PLLC
8218 210TH PLACE SW
EDMONDS, WA 98026
PH: (206) 481-5821

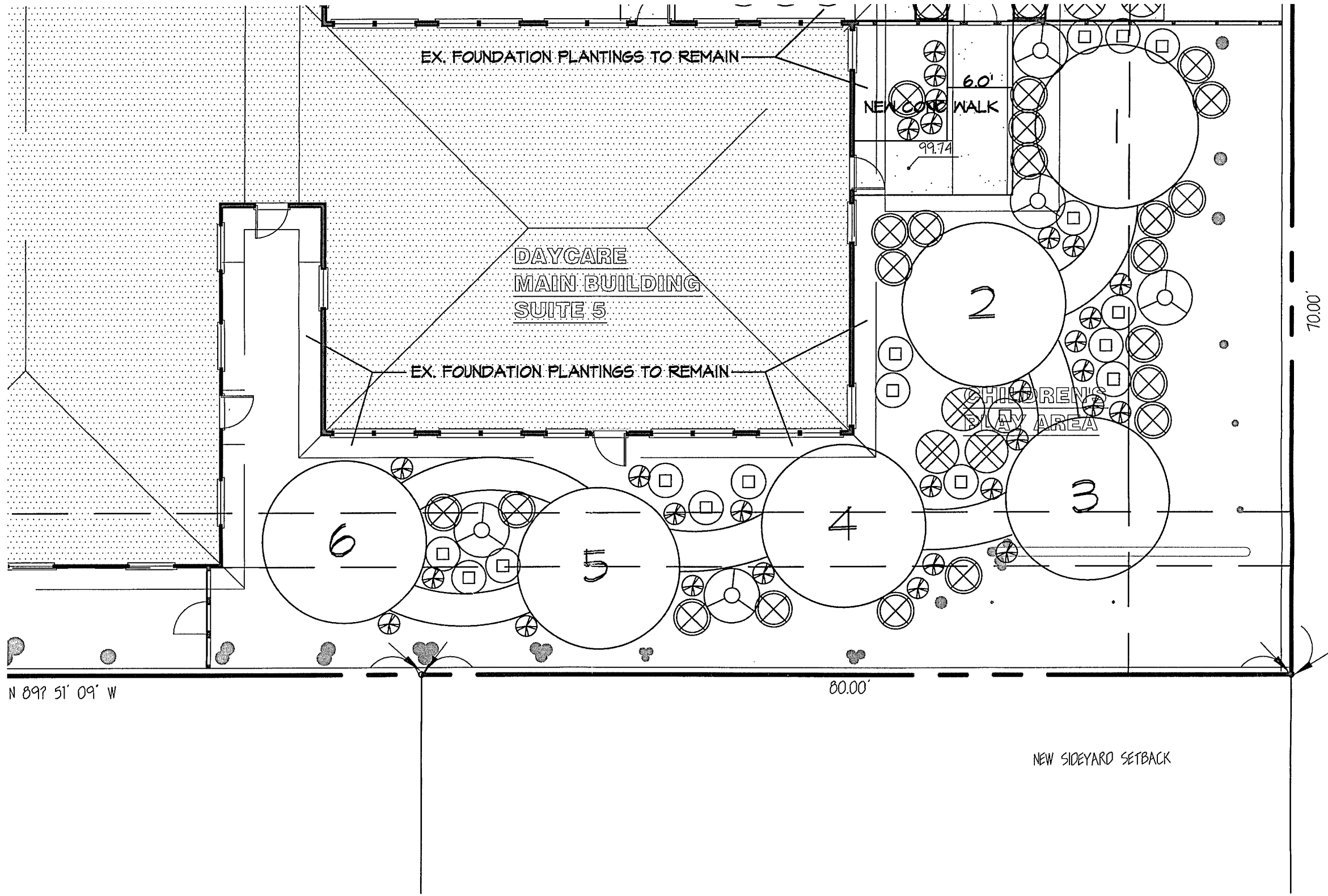
STATE OF
WASHINGTON
REGISTERED
LANDSCAPE ARCHITECT

JOHN E. RUBENKONG
CERTIFICATE NO. 574

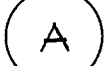










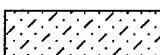
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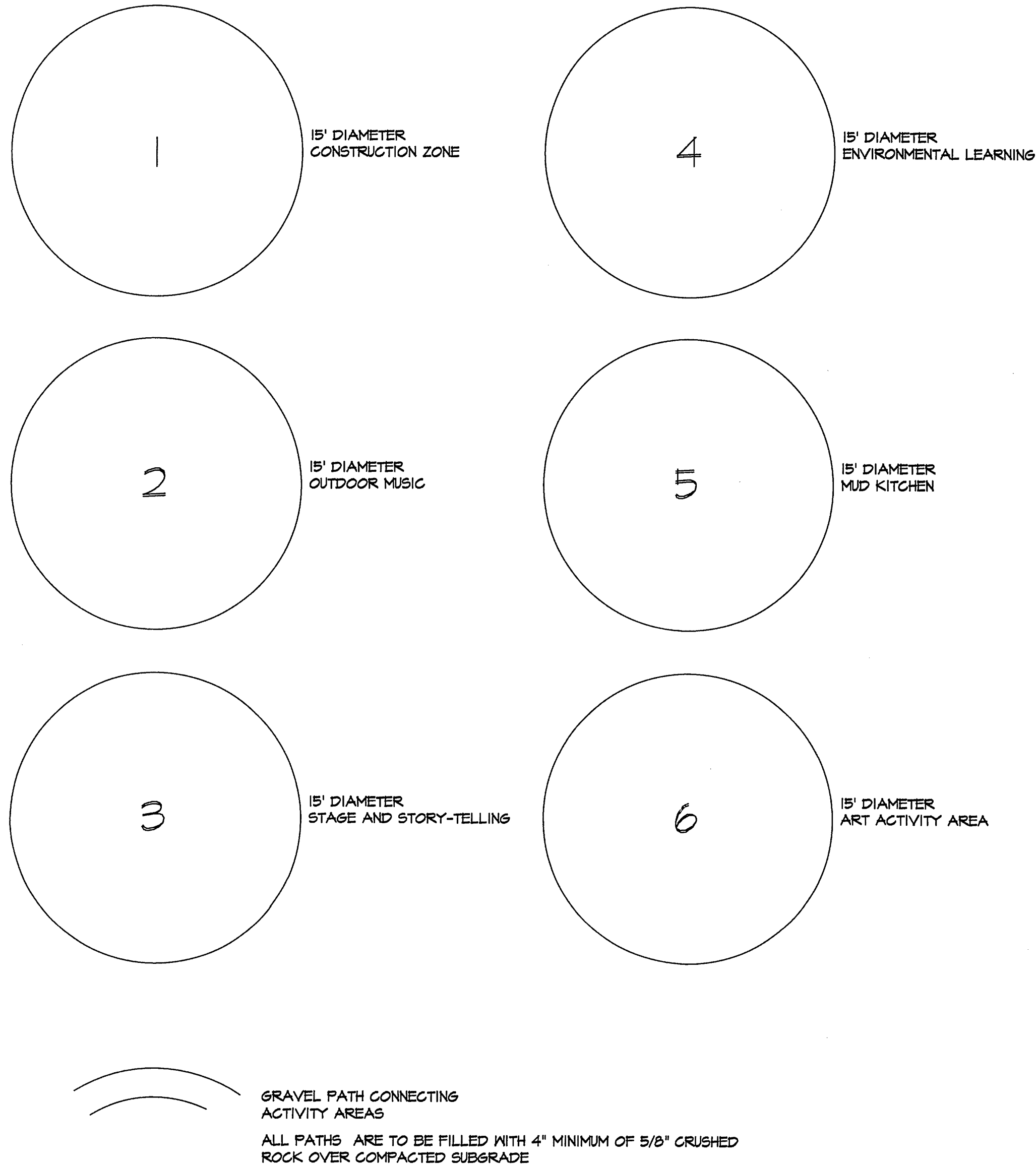
JOB NUMBER
SHEET NUMBER

TRIKE STOP
L2 OF 6



DETAILED PLAY AREA PLANTING PLAN
SCALE: 1" = 10'

| LANDSCAPE PLANTING SCHEDULE | | | | | |
|-------------------------------------------------------------------------------------|-----------------------------------|---------------------------|----------|----------|----------|
| SYMBOL | BOTANICAL and COMMON NAME | | SIZE | QUANTITY | SPACING |
| SHRUBS | | | | | |
|  | ARBUTUS UNEDUM | DWARF STRAWBERRY TREE | MIN. 18" | 44 | AS SHOWN |
|  | CHOISYA TERNATA | MEXICAN ORANGE | MIN. 18" | 53 | AS SHOWN |
|  | ESCALLONIA FRADESII | ESCALLONIA | MIN. 18" | 33 | AS SHOWN |
|  | EUONYMUS ALATA | BURNING BUSH | MIN. 18" | 37 | AS SHOWN |
|  | HYDRANGEA MACROPHYLLA | BIG LEAF HYDRANGEA | MIN. 18" | 3 | AS SHOWN |
|  | MAHONIA AQUIFOLIUM 'COMPACTA' | COMPACT TALL OREGON GRAPE | MIN. 18" | 103 | AS SHOWN |
|  | PIERIS JAPONICA | JAPANESE PIERIS | MIN. 18" | 42 | AS SHOWN |
|  | PRUNUS LAUROCERASUS 'OTTO LUYKEN' | OTTO LUYKEN LAUREL | MIN. 18" | 75 | AS SHOWN |
|  | RIBES SANGUINEUM | RED FLOWERING CURRANT | MIN. 18" | 44 | AS SHOWN |
|  | SARCOCocca HOOKERIANA 'HUMILIS' | SWEET BOX | MIN. 18" | 53 | AS SHOWN |
|  | VIBURNUM TINUS | 'SPRING BOUQUET' VIBURNUM | MIN. 18" | 45 | AS SHOWN |
| GROUND COVER | | | | | |
|  | VINCA MINOR | DWARF PERIWINKLE | 6" POT | 280 | 12" O.C. |



DETAILED ACTIVITY AREAS
SCALE: 1" = 5'

BY: CK

NO. 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100

DATE: 1/2/2016

REVISION: 1

DESIGN GROUP: JOHN E. RUBENKONIG, ASLA

PROJECT MANAGER: JOHN E. RUBENKONIG, ASLA

DRAWN: AKB

CHECKED: JOHN E. RUBENKONIG, ASLA

DATE: 1/2/2016

FILE NAME: TRIKE_STOP.DWG

PLAY AREA IMPROVEMENT PLAN

MRS. AUTUMN SNOW

TRIKE STOP DAYCARE CENTER

23107 100TH AVENUE WEST

WASHINGTON

EDMONDS

REUBENKONIG PLANNING AND LANDSCAPE ARCHITECTURE, PLLC

8218 210TH PLACE SW

EDMONDS, WA 98026

PH: (206) 491-6621

STATE OF WASHINGTON

REGISTERED LANDSCAPE ARCHITECT

JOHN E. RUBENKONIG

CERTIFICATE NO. 574

STAMP NOT VALID UNLESS SIGNED AND DATED

REVISION

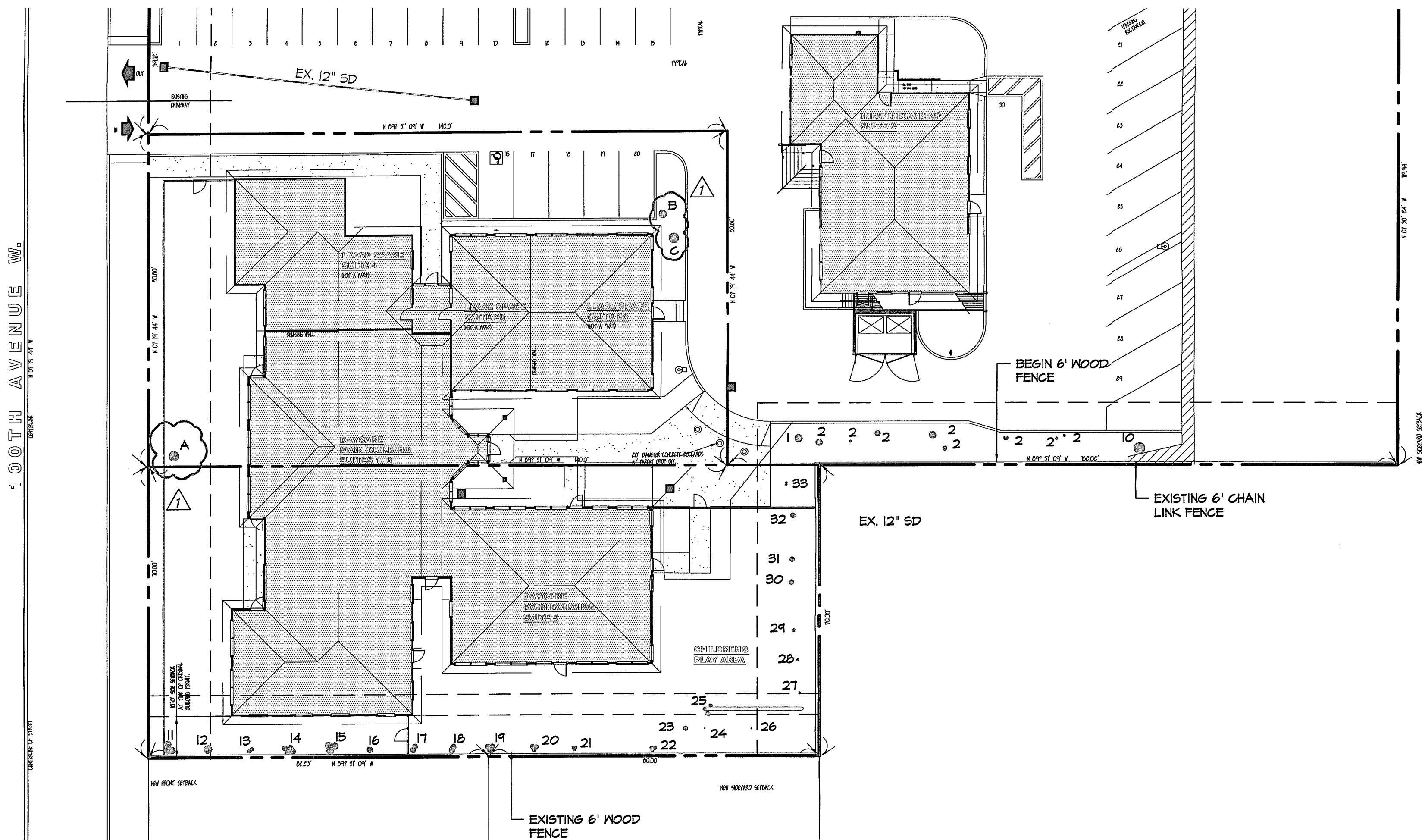
WAK 04 2016

BUILDING DEPARTMENT

CITY OF EDMONDS

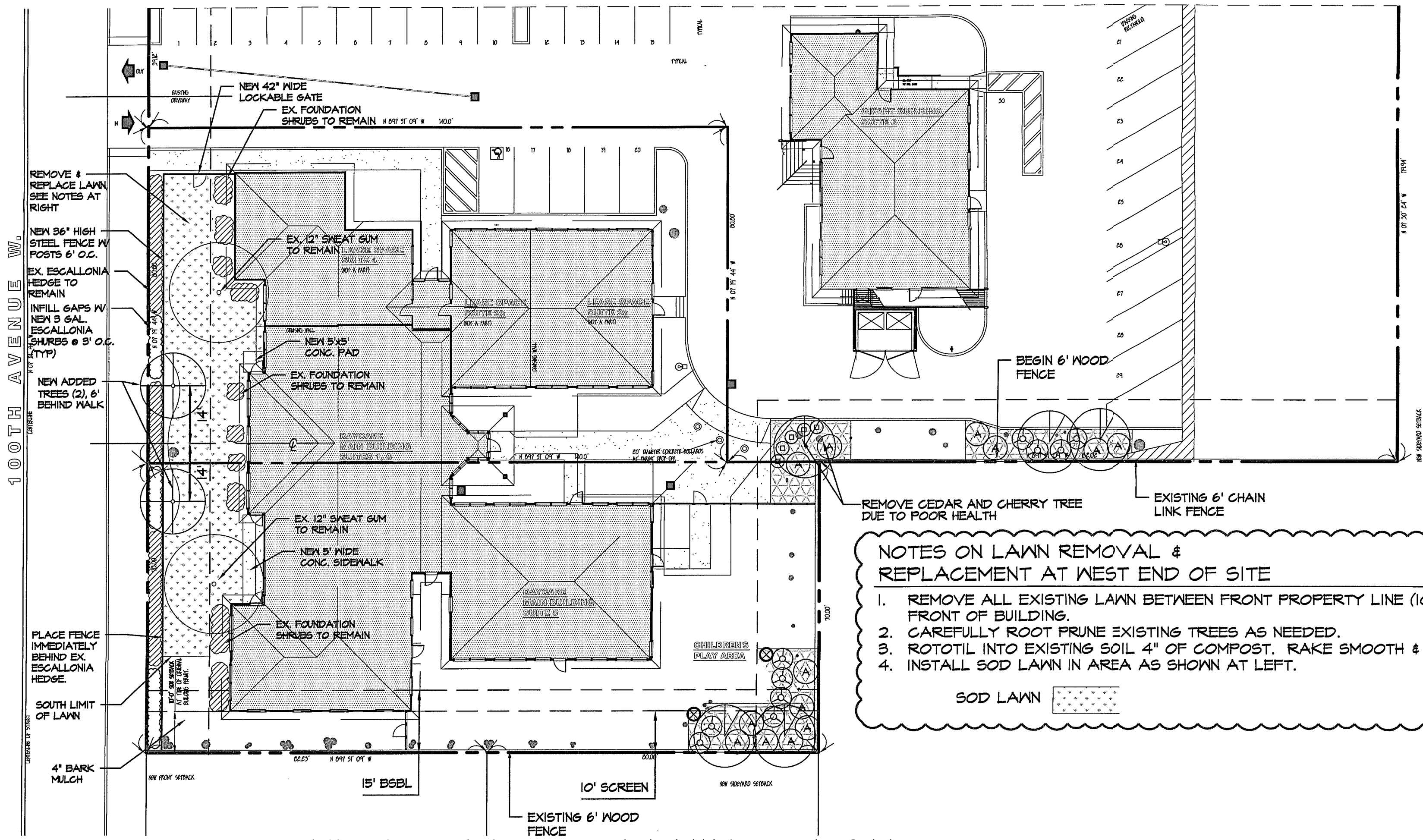
JOB NUMBER: TRIKE STOP

SHEET NUMBER: L3 OF 6



EXISTING TREE SCREENING PLAN

SCALE: 1" = 20'



NEW TREE SCREENING PLAN

SCALE: 1" = 20'

EXISTING TREE INVENTORY AT SOUTH PROPERTY LINE

| KEY # | DESCRIPTION | DISPOSITION |
|-------|----------------------------------------------|---------------------------------|
| 1 | 22" CALIPER W. RED CEDAR | UNHEALTHY - TO BE REMOVED (TBR) |
| 2 | 14" CHERRY | UNHEALTHY - TBR |
| 3 | 7" CALIPER W. RED CEDAR | TO REMAIN |
| 4 | 16" CALIPER W. RED CEDAR | TO REMAIN |
| 5 | 20" CALIPER W. RED CEDAR | TO REMAIN |
| 6 | 13" CALIPER W. RED CEDAR | TO REMAIN |
| 7 | 13" CALIPER W. RED CEDAR | TO REMAIN |
| 8 | 16" CALIPER W. RED CEDAR | TO REMAIN |
| 9 | 8" CALIPER CHERRY | TO REMAIN |
| 10 | 32" CALIPER DOUGLAS FIR | TO REMAIN |
| 11 | 3-20" CALIPER MULTI-TRUNK W. RED CEDAR | TO REMAIN |
| 12 | 24" CALIPER W. RED CEDAR | TO REMAIN |
| 13 | 2-11" CALIPER W. RED CEDAR | TO REMAIN |
| 14 | 4-15" CALIPER W. RED CEDAR | TO REMAIN |
| 15 | 3-20" CALIPER W. RED CEDAR | TO REMAIN |
| 16 | 17" CALIPER W. RED CEDAR | TO REMAIN |
| 17 | 2-15" CALIPER W. RED CEDAR | TO REMAIN |
| 18 | 2-16" CALIPER W. RED CEDAR | TO REMAIN |
| 19 | 3-15" CALIPER W. RED CEDAR | TO REMAIN |
| 20 | 3-15" CALIPER W. RED CEDAR | TO REMAIN |
| 21 | 3-6" TO 8" CALIPER W. RED CEDAR | TO REMAIN |
| 22 | 3-8" TO 10" CALIPER MULTI-TRUNK W. RED CEDAR | TO REMAIN |
| 23 | 13" CALIPER W. RED CEDAR | TO REMAIN |
| 24 | 1 1/2" EVERGREEN SHRUB | TO REMAIN |
| 25 | 5 MULTI-TRUNKED DECIDUOUS | TBR (DEAD & LAYING ON GROUND) |
| 26 | 2" CALIPER FLUM | TBR |
| 27 | 7" CALIPER W. RED CEDAR | TBR |
| 28 | 7" CALIPER W. RED CEDAR | TO REMAIN |
| 29 | 9 1/2" CALIPER W. RED CEDAR | TO REMAIN |
| 30 | 14" CALIPER W. RED CEDAR | TO REMAIN |
| 31 | 14" CALIPER W. RED CEDAR | TO REMAIN |
| 32 | 14" CALIPER W. RED CEDAR | TO REMAIN |
| 33 | 2-6" CALIPER W. RED CEDAR | TO REMAIN |

ADDITIONAL TREES REMOVED WITH CITY APPROVAL

FEBRUARY 2016

| KEY # | DESCRIPTION |
|-------|------------------------------------------------|
| A | 36" SCOTCH PINE @ FRONT PROPERTY LINE |
| B | 24" DOUGLAS FIR @ N.E. CORNER OF WEST BUILDING |
| C | 30" DOUGLAS FIR @ N.E. CORNER OF WEST BUILDING |

TREES ADDED @ FRONT PROPERTY LINE

| SYMBOL | BOTANICAL and COMMON NAME | SIZE | QUANTITY | SPACING |
|--------|---------------------------|------------------|-------------------------------------------------------------|--------------------------------------------------------------|
| | CORNUS KOUSA NUTTALLII | VENUS DOGWOOD | 1-1/2" CAL. MINIMUM (2" IF POSSIBLE TO BE LOCATED) | 2 6' BEHIND SIDEWALK & 28' O.C. SEE SPACING DIAGRAM |

LANDSCAPE PLANTING SCHEDULE - REPLACEMENT TREES

| SYMBOL | BOTANICAL and COMMON NAME | SIZE | QUANTITY | SPACING |
|--------|----------------------------------------------------------------------|------------------------------|----------------------------|----------------------------------|
| | ACER RUBRUM 'BONHALL' | BONHALL RED MAPLE | 2" CAL. 10' MIN. HEIGHT | 5 AS SHOWN |
| | ARBUTUS UNEDUM 'DWARF STRAWBERRY TREE' | DWARF STRAWBERRY TREE | 5 GALLON | 13 AS SHOWN |
| | PRUNUS LAUROCERASUS 'OTTO LUYKEN' | OTTO LUYKEN LAUREL | 3 GALLON | 5 AS SHOWN |
| | VIBURNUM TINUS 'SPRING BOUQUET' | 'SPRING BOUQUET' VIBURNUM | 5 GALLON | 10 AS SHOWN |
| | GAULTHERIA SHALLON INFILL ON ALL SIDES OF NEW PLANTINGS AS SHOWN. | SALAL | 1 GALLON POT | 300 24" O.C. ABOUT 1100 SF |

NOTES ON LAWN REMOVAL & REPLACEMENT AT WEST END OF SITE

1. REMOVE ALL EXISTING LAWN BETWEEN FRONT PROPERTY LINE (100TH AVE. WEST) AND FRONT OF BUILDING.
2. CAREFULLY ROOT PRUNE EXISTING TREES AS NEEDED.
3. ROTOTILL INTO EXISTING SOIL 4" OF COMPOST. RAKE SMOOTH & COMPACT.
4. INSTALL SOD LAWN IN AREA AS SHOWN AT LEFT.

SOD LAWN

REVISION

MARK 04 2016

BUILDING DEPARTMENT
CITY OF EDMONDS

REVISED PLAN

FEBRUARY 23, 2016

PERIMETER SCREENING PLAN

MRS. AUTUMN SNOW

TRIKE STOP DAYCARE CENTER

23107 100TH AVENUE WEST

WASHINGTON

EDMONDS

RUBENKONG PLANNING AND
LANDSCAPE ARCHITECTURE, PLLC
8218 210TH PLACE SW
EDMONDS, WA 98026
PH: (206) 491-9621

STATE OF
WASHINGTON
REGISTERED
LANDSCAPE ARCHITECT

JOHN E. RUBENKONG
CERTIFICATE NO. 574

STAMP NOT VALID
UNLESS SIGNED AND DATED

JOB NUMBER

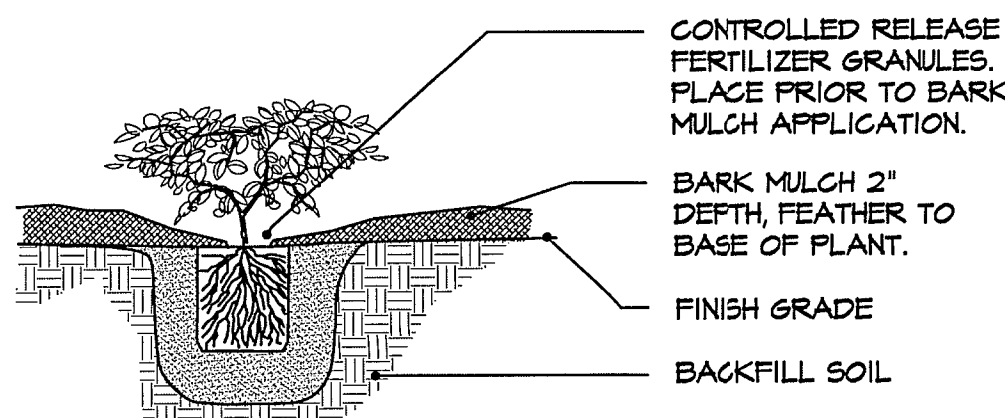
TRIKE STOP

SHEET NUMBER

L4 OF 6

LANDSCAPE NOTES

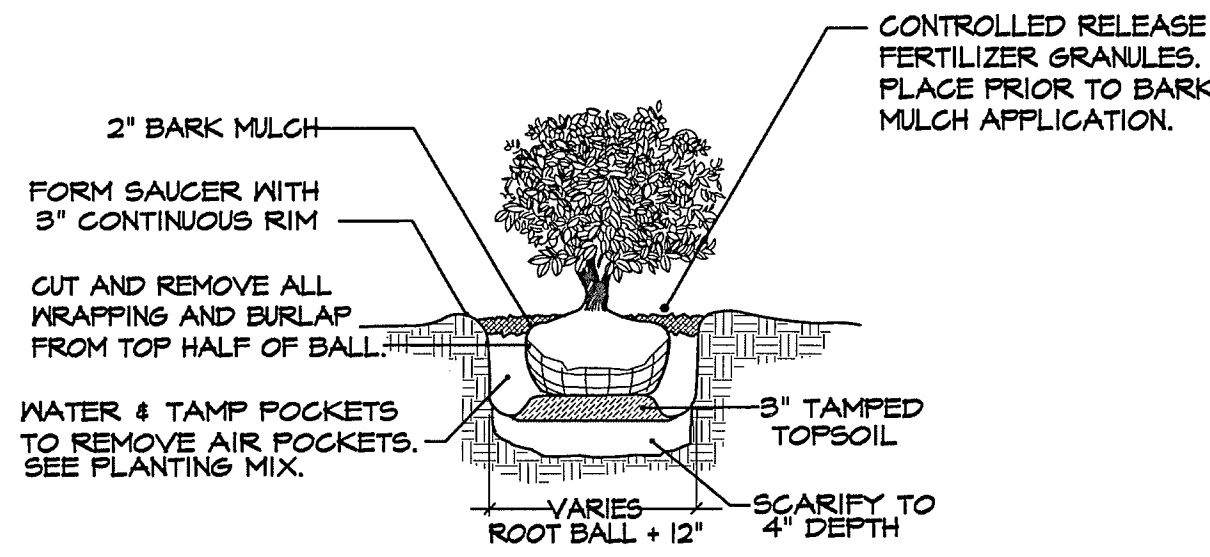
1. ALL TECHNIQUES AND METHODS USED DURING CONSTRUCTION OF THE LANDSCAPE PORTION OF THIS PROJECT SHALL BE OF THE FIRST QUALITY AS COMPARED TO THE STANDARDS OF THE INDUSTRY. ALL ASPECTS OF THIS WORK WILL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE LANDSCAPE ARCHITECT AND CITY OF EDMONDS.
2. COORDINATE ALL WORK WITH OTHER CONTRACTORS ON SITE. THE LANDSCAPE CONTRACTOR SHALL OBTAIN ALL PERMITS NECESSARY FOR THAT PORTION OF THIS PROJECT.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL DEBRIS, RUBBISH AND AND EXCESS MATERIAL INCURRED BY THIS PROJECT.
4. DISCREPANCIES BETWEEN PLANS AND SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING.
5. VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO PLAN INSTALLATION. NO TREES SHALL BE PLANTED CLOSER THAN 5 FEET TO UNDERGROUND UTILITIES IF AT ALL POSSIBLE.
6. VERIFY EXISTING GRADING IN FIELD PRIOR TO CONSTRUCTION. IF CONDITIONS ARE OTHER THAN EXPECTED, CONTACT THE ARCHITECT IMMEDIATELY.
7. EXISTING TOPSOIL SHOULD BE STRIPPED FROM CONSTRUCTION LOCATIONS, SAFELY STORED ON SITE, AND REUSED IN PLANTING BED PREPARATION, AUGMENT WHERE NECESSARY WITH "STERCO" PACIFIC TOPSOILS WINTERMIX OR AN APPROVED EQUIVALENT. TILL THOROUGHLY INTO PLANTING BEDS AND LAWN AREAS FOR A MINIMUM DEPTH OF 6". REMOVE ROCKS AND DEBRIS LARGER THAN 1". SEE SOIL AMENDMENT NOTE BELOW.
8. COVER ALL TREE, SHRUB AND GROUND COVER PLANTING AREAS WITH A 3" MINIMUM THICKNESS OF MULCH.
9. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE LANDSCAPE PORTION OF THIS PROJECT DURING CONSTRUCTION AND FOR A MINIMUM OF 30 DAYS AFTER FINAL ACCEPTANCE. THIS WORK SHALL TAKE THE FORM OF WATERING WHERE NECESSARY, DEBRIS PICKUP, PRUNING AND ANY PRUNING NEEDED TO KEEP THE LANDSCAPE IN FIRST CLASS CONDITION.
10. ALL PLANT MATERIAL SHALL BE IN GOOD GROWING CONDITION AT THE TIME OF PLANTING AND SHALL BE GUARANTEED FOR ONE FULL YEAR OR UNTIL THE NEXT GROWING SEASON (WHICHEVER TIME PERIOD IS LONGER) AFTER FINAL ACCEPTANCE. ANY REPLACEMENT PLANT MATERIAL REQUIRED SHALL BE EXACTLY THE SAME AS ORIGINALLY SPECIFIED AS TO TYPE AND SIZE. THE CONTRACTOR SHALL RE-DO ANY TREE STAKING AS IS APPROPRIATE DURING THIS TIME PERIOD.
11. DIG, PACK, TRANSPORT AND HANDLE ALL PLANTS WITH CARE TO ENSURE PROTECTION FROM INJURY. STORE PLANTS IN THE MANNER NECESSARY TO ACCOMADATE THEIR HORTICULTURAL REQUIREMENTS. HEEL-IN PLANTS AND IRRIGATE AS NEEDED TO KEEP FROM DRYING OUT.
12. INSTALL APPROPRIATE TRANSPLANTER FERTILIZER TO ALL PLANTING PITS AS SPECIFIED BY MANUFACTURER.
13. STAKE ALL TREES AS SHOWN IN DETAIL.
14. THE CONTRACTOR IS RESPONSIBLE FOR WATERING ALL PLANTS TO ENSURE THEIR SURVIVAL UNTIL FINAL ACCEPTANCE AND/OR IRRIGATION SYSTEM HAS BEEN INSTALLED AND IS OPERATIONAL.



NOTE: SEE PLANTING PATTERN

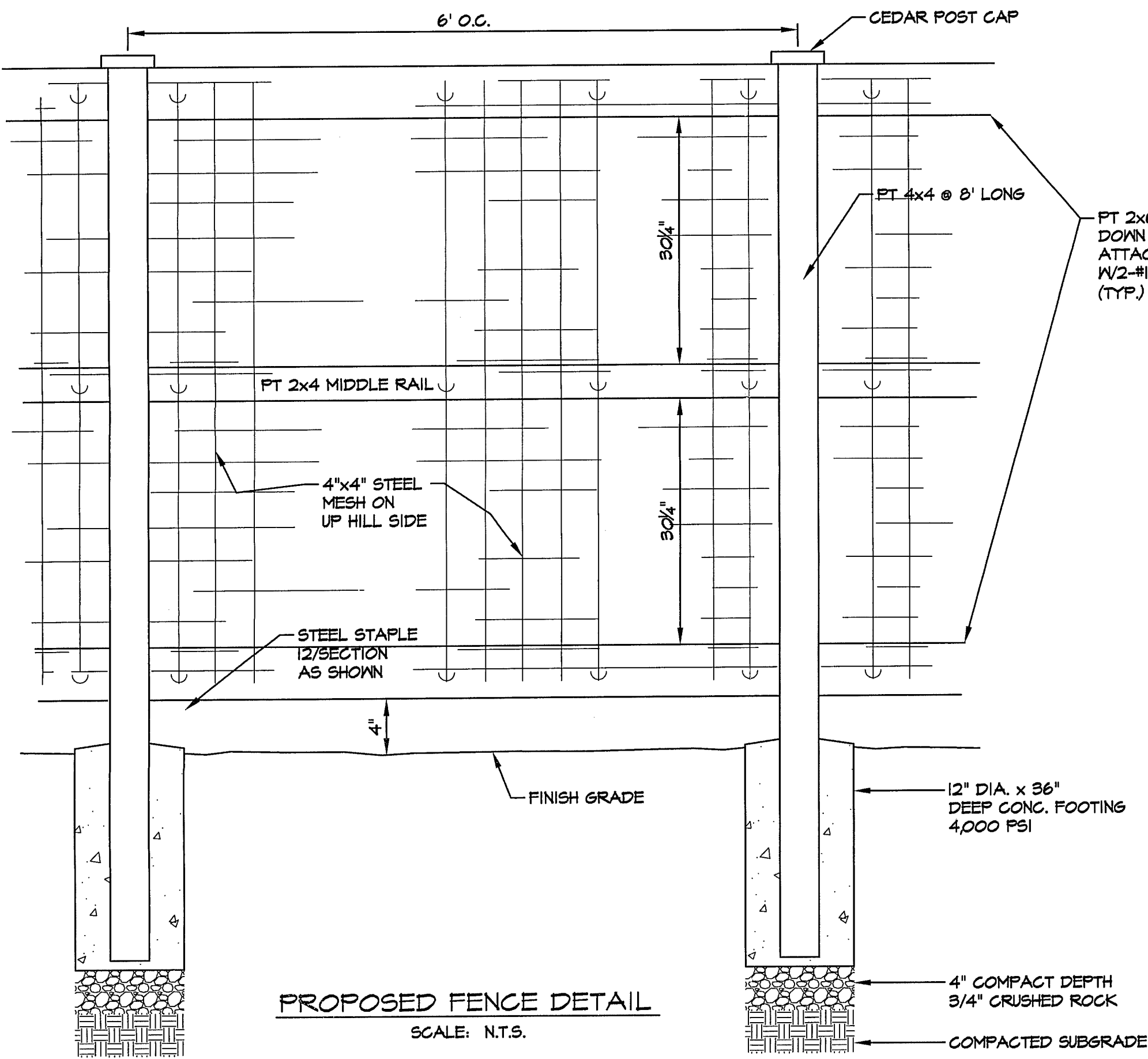
GROUND COVER PLANTING

NO SCALE



SHRUB PLANTING

NO SCALE



PROPOSED FENCE DETAIL

SCALE: N.T.S.

IRRIGATION NOTE:

THE DEVELOPER IS REQUIRED TO INSTALL IRRIGATION AND WILL CONTRACT WITH A DESIGN/BUILD IRRIGATION CONTRACTOR TO INSTALL THIS SYSTEM. THIS SYSTEM SHOULD BE IN OPERATION A MINIMUM OF 2 GROWING SEASONS.

TREE PROTECTION NOTE:

THE FOLLOWING TREE PROTECTION MEASURES SHALL BE TAKEN DURING CLEARING OR CONSTRUCTION.

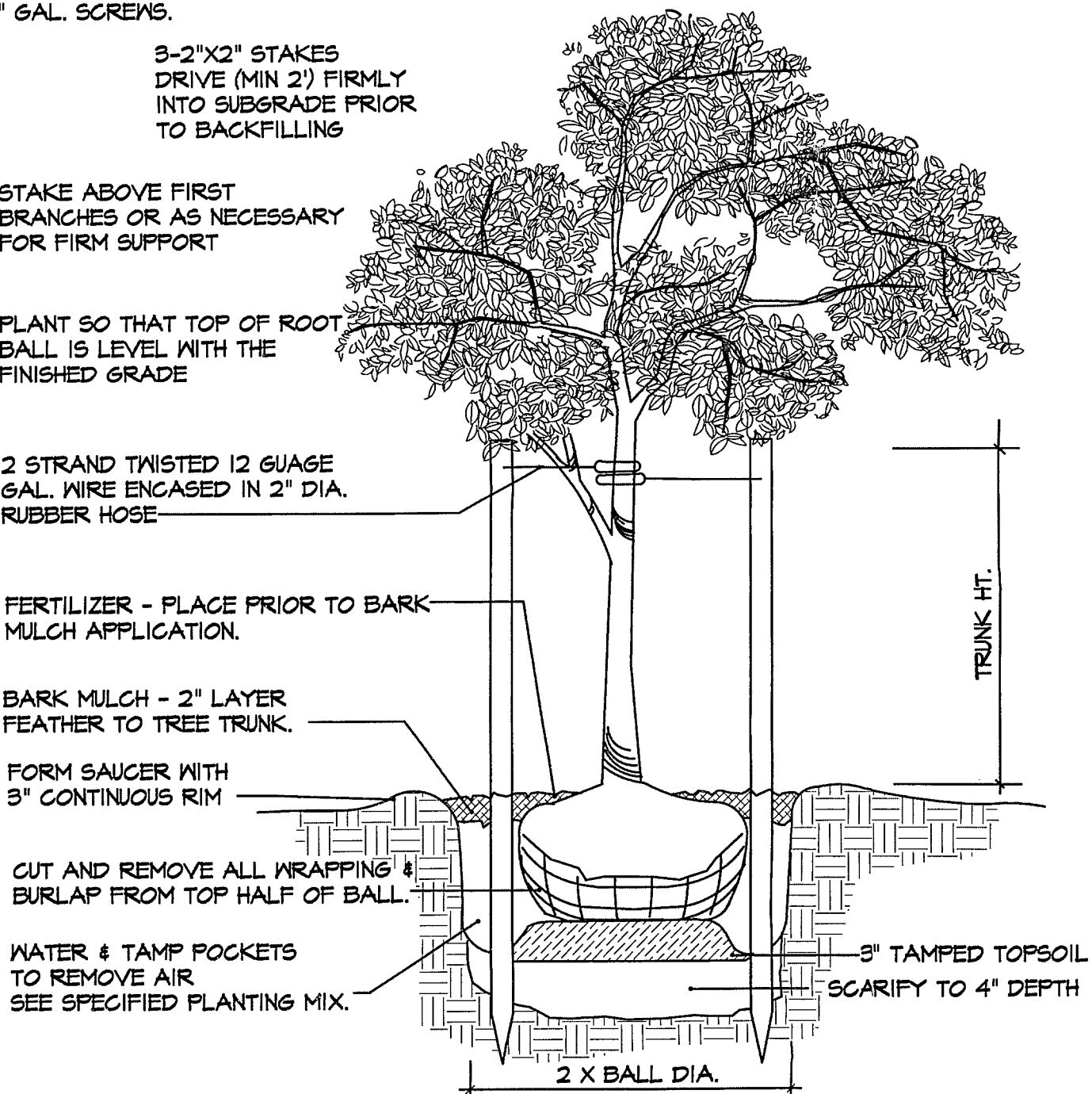
- (A) TREE PROTECTIVE FENCING SHALL BE INSTALLED ALONG THE OUTER EDGE OF THE DRIPLINE OF RETAINED TREES IN ORDER TO PROTECT THE TREES DURING ANY LAND DISTURBANCE ACTIVITIES AND FENCING SHALL NOT BE MOVED TO FACILITATE GRADING OR OTHER CONSTRUCTION ACTIVITY WITHIN THE PROTECTED AREA;
- (B) TREE PROTECTIVE FENCING SHALL BE A MINIMUM HEIGHT OF 3 FEET, VISIBLE AND OF DURABLE CONSTRUCTION. ORANGE POLYETHYLENE LAMINAR FENCING IS ACCEPTABLE, AND
- (C) SIGNS MUST BE POSTED ON THE FENCE READING "TREE PROTECTION AREA".

GENERAL LANDSCAPE REQUIREMENTS:

ALL LANDSCAPE MATERIALS SHALL MEET OR EXCEED CURRENT UNITED STATES STANDARDS FOR NURSERY STOCK PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION AND CONSIST OF NATIVE SPECIES. THE APPLICANT SHALL USE A LIST OF ACCEPTABLE SPECIES PREPARED BY THE DIRECTOR OR MAY SUBSTITUTE A SPECIES WITH SIMILAR CHARACTERISTICS NOT ON THE LIST WITH THE DIRECTOR'S APPROVAL.

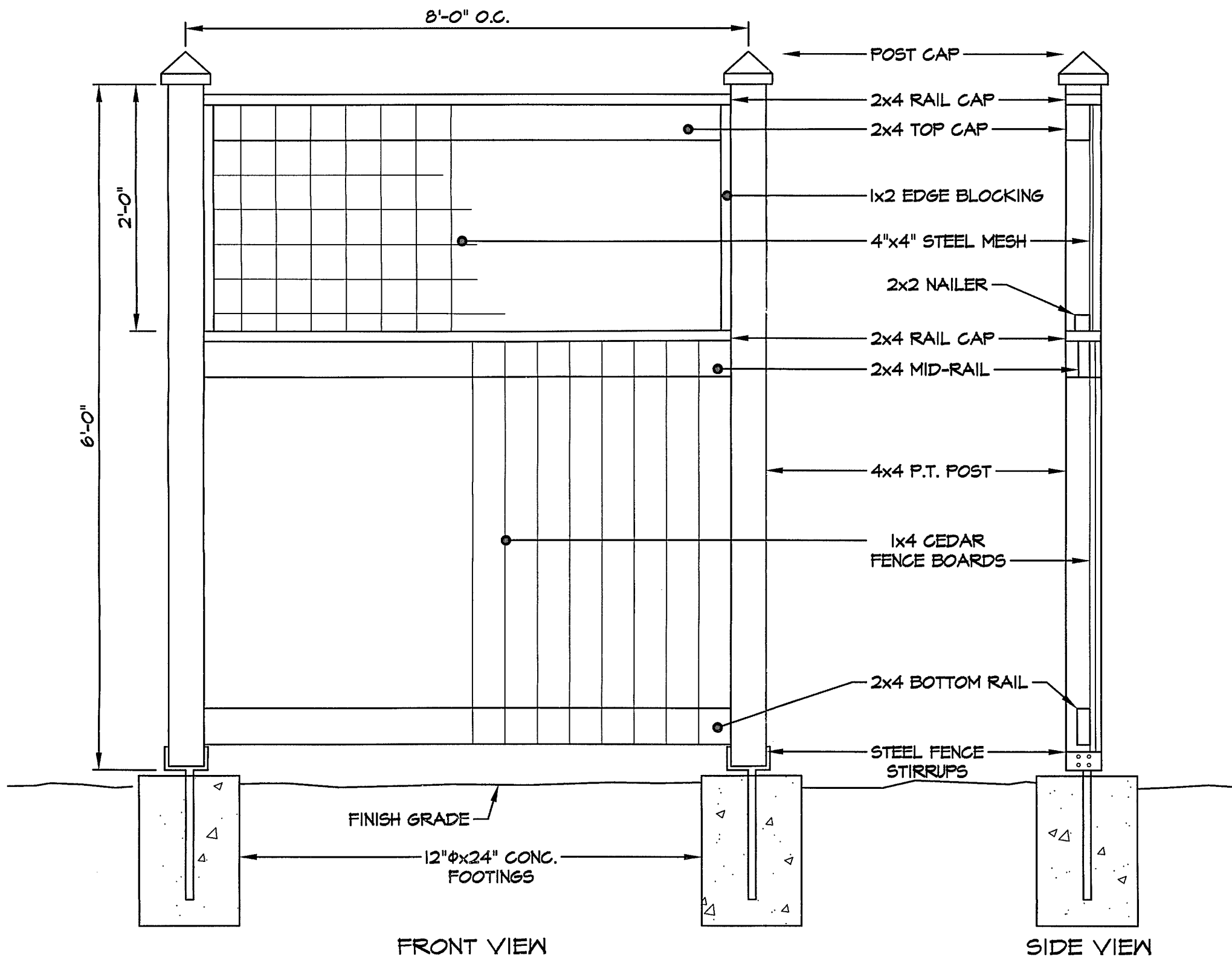
CITY OF EDMONDS CONSTRUCTION STANDARDS

| | |
|------------------------|--------------------|
| CONCRETE VERTICAL CURB | STD. DWS. E 2.10 |
| CONCRETE SIDEWALK | STD. DWS. E 2.13 |
| DRIVEWAY RAMP | STD. DWS. E 2.27.2 |



DECIDUOUS TREE STAKING DETAIL

NO SCALE



FRONT VIEW

PROPOSED WOOD & STEEL FENCE

SCALE: N.T.S.

DETAILS & NOTES

MRS. AUTUMN SNOW
TRIKE STOP DAYCARE CENTER
23107 100TH AVENUE WEST

EDMONDS

WASHINGTON

| | |
|-----------------|-------------------------|
| DESIGN GROUP | JOHN E. RUBENKONG, ASLA |
| PROJECT MANAGER | JOHN E. RUBENKONG, ASLA |
| DESIGNED | JOHN E. RUBENKONG, ASLA |
| CHKD | AKB |
| CADD | JOHN E. RUBENKONG, ASLA |
| CHECKED | 1/8/2016 |
| DATE | TRIKE LS-DET.DWG |
| FILE NAME | |

RUBENKONG PLANNING AND
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8218 210TH PLACE SW
EDMONDS, WA 98026
PH: (206) 491-9821



JOHN E. RUBENKONG
CERTIFICATE NO. 574

STAMP NOT VALID
UNLESS SIGNED AND DATED

JOB NUMBER

SHEET NUMBER

L5 OF 6

REVISED NOTES (4/8/2016)

1. REPLACE A.C. PAVING TO MATCH EXIST. AT REPLACED STORM DRAIN LINE OR SEWER LINE REPLACEMENT. FLUSH JOIN TO EXIST.
2. REPLACE LIMITED AREA OF A.C. PAVING IN ORDER TO TRANSITION TO NEW STAIR CONSTRUCTION ELEVATIONS TO MEET CODE. FLUSH JOIN TO OUTER EDGES OF EXISTING A.C. PAVING.

NOTES:

ASPHALT

1. HOT MIX ASPHALT OR CLASS B ASPHALT TO BE INSTALLED IN TWO EQUAL 1.5" LIFTS.
2. A 4" COMPACTED DEPTH BASE COURSE OF 5/8" CRUSHED ROCK SHALL BE INSTALLED OVER THE 95% COMPACTED SUBBASE. SUBBASE SHOULD BE INSPECTED FOR ANY UNSUITABLE MATERIAL. IF THIS MATERIAL IS FOUND, IT SHOULD BE REMOVED AND REPLACED WITH CRUSHED ROCK.
3. ALL CUTS IN THE EXISTING ASPHALT MUST BE MADE WITH A SAW CUT. NO JACKHAMMERS ALLOWED. THE SAWCUT SEAM MUST BE COMPLETELY SEALED AFTER NEW ASPHALT INSTALLED. APPLY JOINT SEALANT AR400M TO TOP AND TACK COAT TO SIDES.
4. MINIMUM SLOPES FOR NEW ASPHALT MUST BE 2.0%. ALL NEW ASPHALT SURFACES MUST SLOPE TO A STORM DRAIN STRUCTURE.

CONCRETE

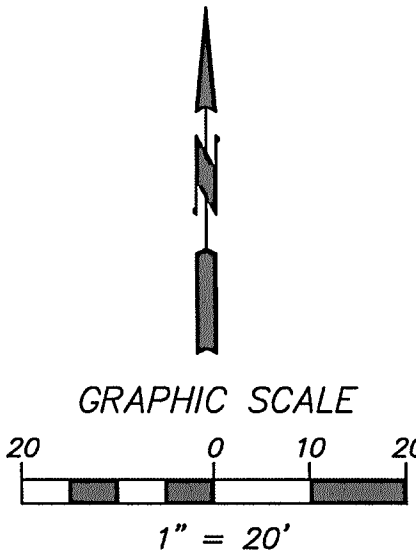
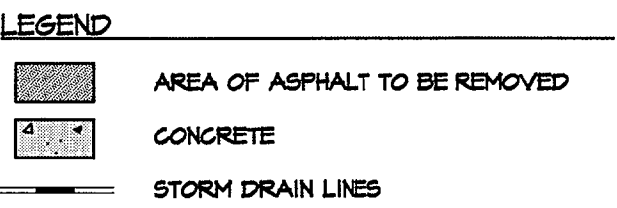
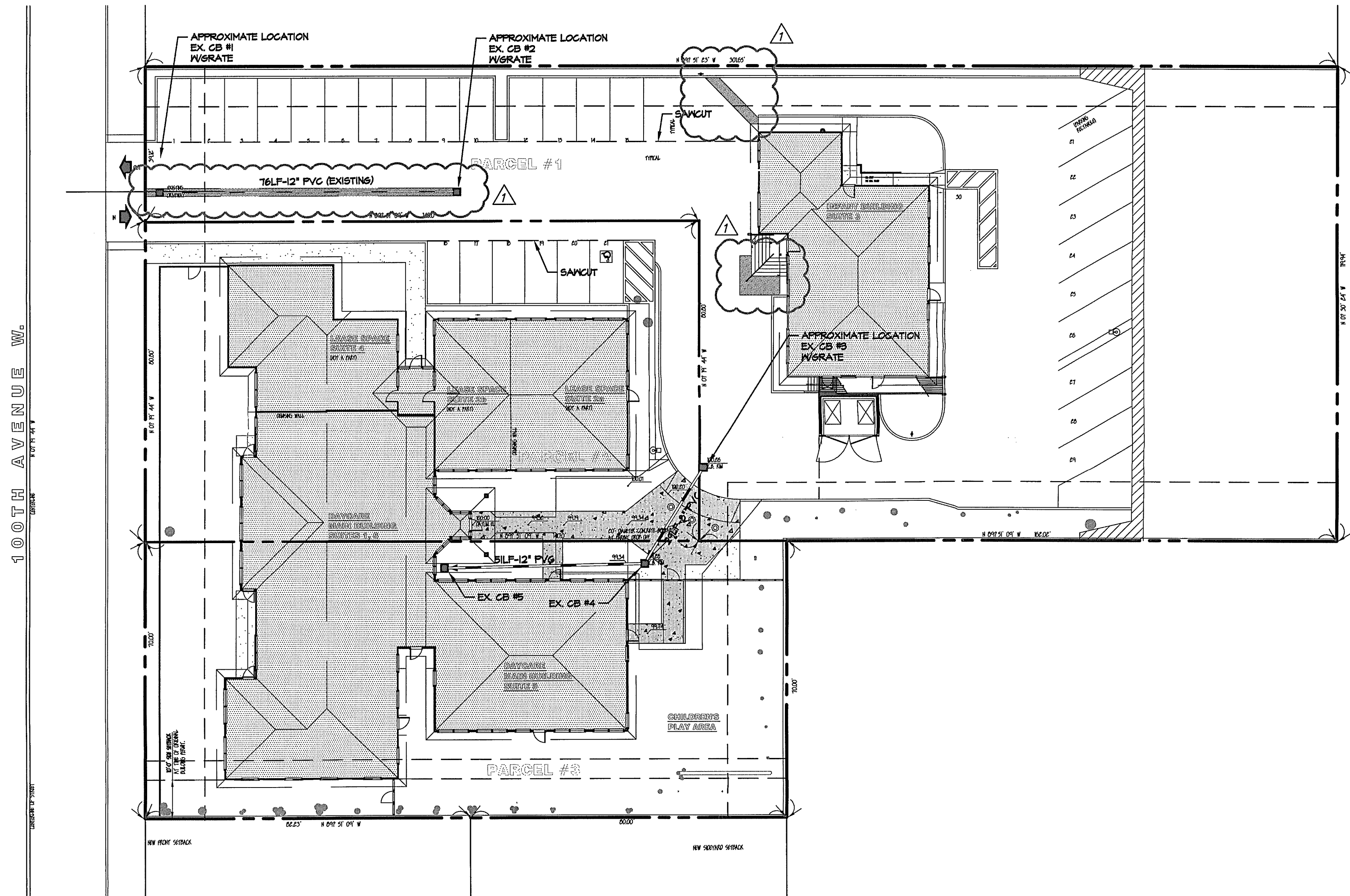
1. CONCRETE SHALL BE CEMENT CONCRETE CLASS 4000.
2. CONCRETE WALKS AND CURBS SHALL BE INSTALLED OVER 4" COMPACTED DEPTH 5/8" CRUSHED ROCK. THE CRUSHED ROCK SHALL BE INSTALLED OVER A 95% COMPACTED SUBGRADE.
3. CURBS SHALL HAVE A THRU JOINT AT 10' ON CENTER (O.C.).
4. ALL WALKS SHALL BE A MINIMUM THICKNESS OF 4". CONTROL JOINTS SHALL BE A MAXIMUM OF 5' O.C. WITH AN EXPANSION JOINT AT 10' O.C.
5. THE DRIVEWAY SHALL BE CONSTRUCTED PER THE LATEST ADA AND WSDOT STANDARDS.
6. ALL CONCRETE SURFACES SHALL HAVE A MINIMUM SLOPED SURFACE OF 2%. THE MAXIMUM SLOPED SURFACE SHALL NOT EXCEED 5%.

STORM DRAINAGE

1. ALL CATCH BASINS SHALL BE TYPE I WITH A MINIMUM CATCH OF 18A. THE MAXIMUM DEPTH FROM FINISH GRADE TO PIPE INVERT IS 5'.
2. STORM DRAINAGE PIPE SHALL BE SCHEDULE 80 PVC UNLESS THE COVER OVER THE PIPE (TOP OF PIPE TO FINISHED SURFACE) IS 12" OR LESS. IF 12" OR LESS, STORM PIPE SHALL BE DUCTILE IRON.
3. PIPE TRENCHES SHALL HAVE A 95% COMPACTED BOTTOM WITH 6" OF PEA GRAVEL BOTH BELOW, ON THE SIDES AND ABOVE THE STORM PIPE. CRUSHED SURFACING TOP COURSE PER WSDOT STANDARD SPECIFICATION SHALL BE PLACED ABOVE THE PEA GRAVEL AND COMPACTED TO 95% MAXIMUM DENSITY.
4. THE MINIMUM SLOPE FOR PIPES SHALL BE 1.0%.

SITE

1. OWNER'S REPRESENTATIVE, ASSUMING THAT THE CITY OF EDMONDS DOES NOT REQUIRE INSPECTIONS OR APPROVALS FOR THIS PORTION OF THE PROJECT, THE CLIENT REPRESENTATIVE WES SNOW SHALL HAVE FINAL APPROVAL FOR ALL PAVING AND DRAINAGE ELEMENTS FOR THIS PROJECT.



STREET FILE
REVISION
APR 14 2016
BUILDING DEPARTMENT
CITY OF EDMONDS

| | |
|-----------------|-------------------------|
| DESIGN GROUP | JOHN E. RUBENKONG, ASLA |
| PROJECT MANAGER | JOHN E. RUBENKONG, ASLA |
| DESIGNED | AKG |
| CADD | AKG |
| CHECKED | JOHN E. RUBENKONG, ASLA |
| DATE | 10/20/16 |
| TRIKE STOP | TRIKE STOP |
| FILE NAME | TRIKE STOP |

PAVING PLAN

MRS. AUTUMN SNOW
TRIKE STOP DAYCARE CENTER
23107 100TH AVENUE WEST

WASHINGTON

EDMONDS

RUBENKONG PLANNING AND LANDSCAPE ARCHITECTURE, PLLC
8218 210TH PLACE SW
EDMONDS, WA 98026
PH: (206) 491-5821

STATE OF WASHINGTON
REGISTERED LANDSCAPE ARCHITECT
JOHN E. RUBENKONG
CERTIFICATE NO. 574

STAMP NOT VALID
UNLESS SIGNED AND DATED

JOB NUMBER
TRIKE STOP

SHEET NUMBER
L6 OF 6

EXISTING TREE INVENTORY @ SOUTH PROPERTY LINES:

| KEY NUMBER | DESCRIPTION: | DISPOSITION: | KEY NUMBER | DESCRIPTION: | DISPOSITION: | KEY NUMBER | DESCRIPTION: | DISPOSITION: |
|------------|---------------------------------------------|------------------------------------------------|------------|------------------------------------------------|--------------|------------|-------------------------------------------------|----------------------------------------------|
| 1 | 22" TRUNK DIAM. WESTERN RED CEDAR | TO BE REMOVED - DUE TO UNSTABLE CONDITION. | 12 | 24" TRUNK DIAM. WESTERN RED CEDAR | TO REMAIN. | 23 | 13" TRUNK DIAM. WESTERN RED CEDAR | TO REMAIN. |
| 2 | 19" TRUNK DIAM. CHERRY | TO BE REMOVED DUE TO EXIST. COMPLICATED GROWTH | 13 | (2) 11" DIAM. MULTI-TRUNK WESTERN RED CEDAR | TO REMAIN. | 24 | 1-1/2" TRUNK DIAM. EVERGREEN SHRUB | TO REMAIN. |
| 3 | 7" TRUNK DIAM. WESTERN RED CEDAR | TO REMAIN. | 14 | (4) 15" DIAM. MULTI-TRUNK WESTERN RED CEDAR | TO REMAIN. | 25 | (3) 12"-15" DIAM. MULTI-TRUNK WESTERN RED CEDAR | TO BE REMOVED - DUE TO HAZARDOUS CONDITION. |
| 4 | 16" TRUNK DIAM. WESTERN RED CEDAR | TO REMAIN. | 15 | (3) 20" DIAM. MULTI-TRUNK WESTERN RED CEDAR | TO REMAIN. | 26 | 2" TRUNK DIAM. FLUM. | TO BE REMOVED - DUE TO LOCATION - PLAY AREA. |
| 5 | 20" TRUNK DIAM. WESTERN RED CEDAR | TO REMAIN. | 16 | 11" TRUNK DIAM. WESTERN RED CEDAR | TO REMAIN. | 27 | 1" TRUNK DIAM. WESTERN RED CEDAR | TO BE REMOVED - DUE TO LOCATION - PLAY AREA. |
| 6 | 13" TRUNK DIAM. WESTERN RED CEDAR | TO REMAIN. | 17 | (2) 15" DIAM. MULTI-TRUNK WESTERN RED CEDAR | TO REMAIN. | 28 | 7" TRUNK DIAM. WESTERN RED CEDAR | TO REMAIN. |
| 7 | 13" TRUNK DIAM. WESTERN RED CEDAR | TO REMAIN. | 18 | (2) 16" DIAM. MULTI-TRUNK WESTERN RED CEDAR | TO REMAIN. | 29 | 3-1/2" TRUNK DIAM. WESTERN RED CEDAR | TO REMAIN. |
| 8 | 8" TRUNK DIAM. WESTERN RED CEDAR | TO REMAIN. | 19 | (3) 15" DIAM. MULTI-TRUNK WESTERN RED CEDAR | TO REMAIN. | 30 | 14" TRUNK DIAM. WESTERN RED CEDAR | TO REMAIN. |
| 9 | 8" TRUNK DIAM. CHERRY | TO REMAIN. | 20 | (3) 13" DIAM. MULTI-TRUNK WESTERN RED CEDAR | TO REMAIN. | 31 | 14" TRUNK DIAM. WESTERN RED CEDAR | TO REMAIN. |
| 10 | 32" TRUNK DIAM. PINE | TO REMAIN. | 21 | (3) 6"-8" DIAM. MULTI-TRUNK WESTERN RED CEDAR | TO REMAIN. | 32 | 14" TRUNK DIAM. WESTERN RED CEDAR | TO REMAIN. |
| 11 | (3) 20" DIAM. MULTI-TRUNK WESTERN RED CEDAR | TO REMAIN. | 22 | (3) 8"-10" DIAM. MULTI-TRUNK WESTERN RED CEDAR | TO REMAIN. | 33 | (2) 6" DIAM. MULTI-TRUNK WESTERN RED CEDAR | TO REMAIN. |

SITE DEVELOPMENT NOTES:

- EXISTING WOOD FENCE ALONG PROPERTY LINE TO REMAIN.
- EXISTING 25' WIDE DRIVEWAY AND CURB CUT TO REMAIN.
- EXISTING CONCRETE CURB AND SIDEWALK TO REMAIN.
- EXISTING ROCK RUBBLE RETAINING WALL TO REMAIN.
- EXISTING SITE LTG. FIXTURE ON CONC. PEDESTAL TO REMAIN.
- EXISTING CONC. CURB OR PAVEMENT EDGE TO REMAIN.
- EXISTING CONC. CATCH BASIN AND CONNECTION TO STORM DRAIN SYSTEM TO REMAIN.
- ALL PARKING STRIPING TO BE REDONE PER CITY OF EDMONDS STANDARDS.
- HANDICAPPED PARKING STRIPING TO BE PER CITY OF EDMONDS AND ADA STANDARDS.
- HANDICAPPED SIGNAGE TO BE PER CITY OF EDMONDS AND ADA STANDARDS; AND PER DETAIL IF REFERENCED.
- NEW HANDICAPPED RAMP AND HANDRAIL CONFORMING TO CITY OF EDMONDS AND ADA STANDARDS; AND PER DETAIL IF REFERENCED.
- NEW CONC. STOPS, STEPS, AND PAVING TO MATCH EXISTING.
- NEW CURB CUT, PAVING, AND CONCRETE BOLLARDS AT DROP-OFF TO BE PER DETAIL AS REFERENCED.
- NEW 6'-0" HIGH CEDAR FENCING, 4 X 4 SUPPORT POSTS, AND GATE W/ SECURITY LATCHING AT CHILDREN'S PLAY AREA.
- NEW 3'-0" HIGH CEDAR PICKET FENCING W/ GATES AND LATCHING HARDWARE BEHIND EXISTING HEDGE LANDSCAPING.
- NEW PAINTED DIRECTIONAL ARROWS ON A.C. PAVING TO MEET CITY OF EDMONDS STANDARDS.
- NEW POLE MOUNTED SIGNAGE TO MEET CITY OF EDMONDS STANDARDS W/ TEXT "DO NOT ENTER - EXIT ONLY".
- NEW POLE MOUNTED SIGNAGE TO MEET CITY OF EDMONDS STANDARDS W/ TEXT "DO NOT ENTER - EXIT ONLY - ONE WAY".
- EXISTING STAIR TO UNDERFLOOR ACCESS AREA TO REMAIN BELOW - NEW EXTERIOR WOOD DECK.
- NEW WOOD FRAMED EGRESS DECK FOR SECONDARY EXIT PURPOSES. DECKING WILL DAYLIGHT AT EAST END AT EXISTING PARKING AREA FINISH PAVING. PERIMETER OF DECK TO INCLUDE 42" HIGH ALUMINUM GUARDRAIL.
- NEW LANDSCAPE AREA ADJACENT TO NEW TRASH ENCLOSURE.
- NEW ENTRY STAIR AND LANDING W/ HANDRAILS AS SHOWN TO MEET CODE REQUIREMENTS. SEE FLOOR PLAN AND REFERENCED DETAILS, SHEET A-2 AND A-11.
- A HANDICAPPED, ACCESSIBLE, ROUTE WILL EXTEND FROM THE NEW PARENT DROP-OFF AREA VIA LARGE CURB CUT, PAVED WALKWAY TO AND THROUGH THE MODIFIED ENTRY FOYER DOORS. INCLUDED WILL BE PAVED AREAS MEETING SLOPE REQUIREMENTS, MAXIMUM THRESHOLD HEIGHT AT THE ENTRY DOORS, AND FINISH HARDWARE AT THE ENTRY DOORS TO COMPLY WITH ACCESSIBILITY REQUIREMENTS.
- EXISTING EXPOSED AGGREGATE SIDEWALK AND ASPHALT PAVING AT EXISTING ENTRY WALKWAY AND PARKING AREA TO BE REMOVED.
- NEW 18" DIAMETER CONCRETE BOLLARDS BY ARCHITECTURAL AREA LIGHTING, CEILING, 4" HIGH W/ TILED-WALL LAMP/BALLAST, 1/8" CONCRETE FINISH, AND INTERNAL MOUNTING - TYPICAL OF (4).
- CONCRETE CURB/PAVING TO BE STRIPED "NO PARKING - FIRE LANE" WHERE SHOWN PER CITY OF EDMONDS STANDARDS AND TO APPROVAL OF THE FIRE MARSHAL.

| REVISIONS | DATE | BY |
|--------------------------------------|---------------|----|
| 1. MAIN BLDG. - INITIAL B.O. SUBMIT. | 30 JULY 2015 | |
| 2. MAIN BLDG. - P.C. CORRECT RESP #1 | 18 SEPT. 2015 | |
| 3. MAIN BLDG. - LTG. REV. LANDSCAPE | 17 DEC. 2015 | |
| 4. MAIN BLDG. - EAST PARKING REV. | 7 JAN. 2016 | |

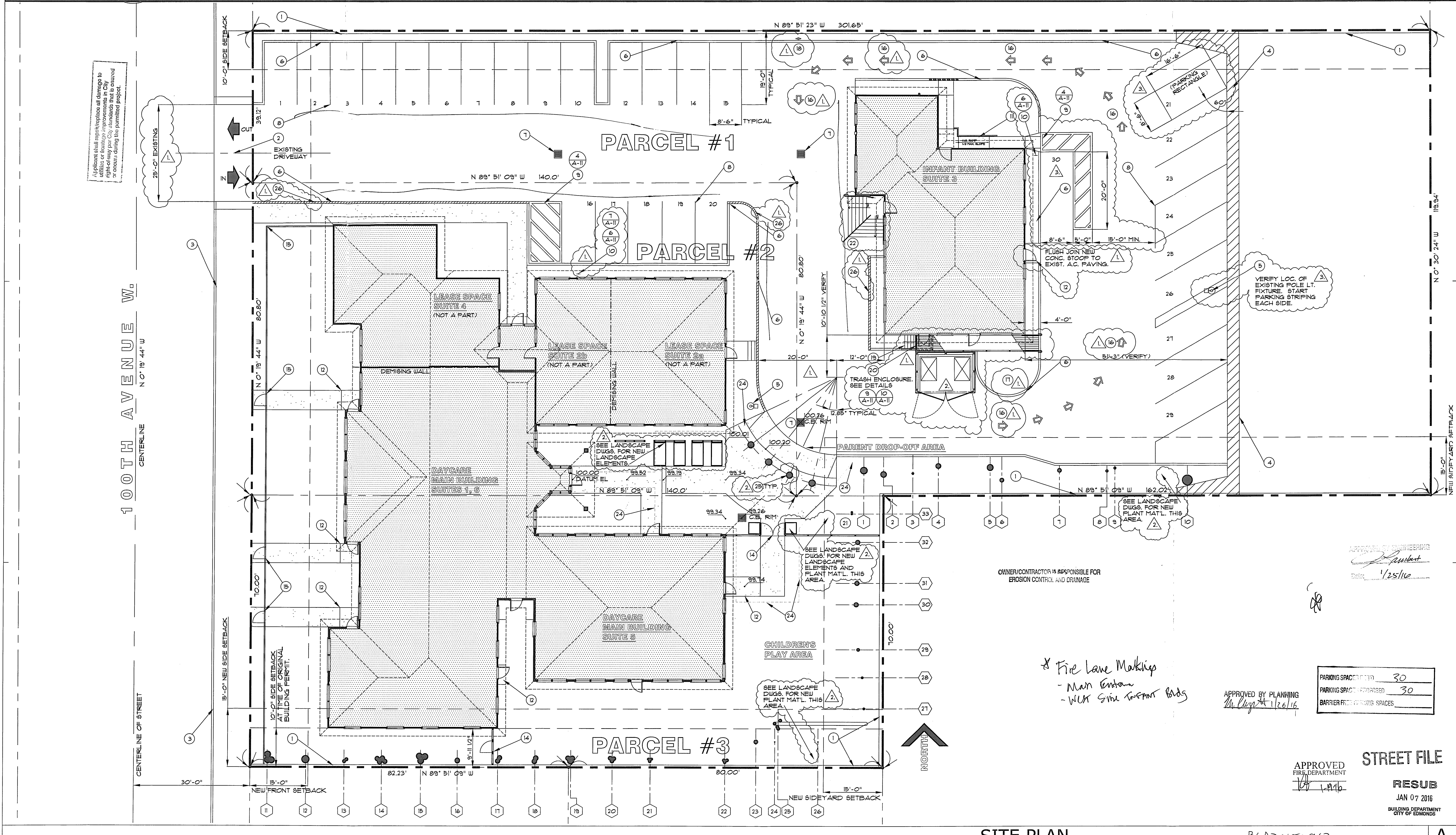
PROJECT: TRIKE STOP DAYCARE CENTER
MAIN BUILDING, SUITES 1, 5, 6
23107 100th Avenue W, Edmonds, WA 98020
For: Mrs. Autumn Snow

Richard A. Okimoto Architect, Inc.
Architecture • Planning • Restaurant Interiors
9924 - 225th Place SW, Edmonds, WA 98020
(425) 697-0983 Cell: research@mindspring.com

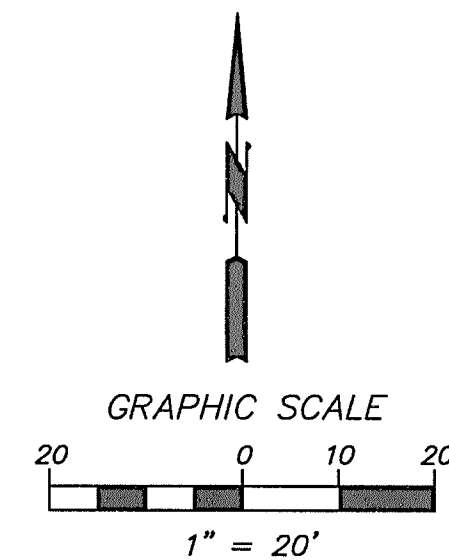
REGISTERED ARCHITECT
No. 1476
STATE OF WASHINGTON

SITE PLAN SITE DEV. NOTES

| | | | |
|-------------------|-------------------|-----------------|-------------------|
| JOB NO.: 2014/111 | DATE: 7 JAN. 2016 | SCALE: AS NOTED | DESIGNER: RAOARCH |
| SHEET NO. SP | | | |



CITY OF EDMONDS



APPROVED BY PLANNING
Mr. Chyatt 1/26/16

STREET FILE

STREET FILE

STREET FILE
RESUB

TRIKE STOP

SHEET NUMBER

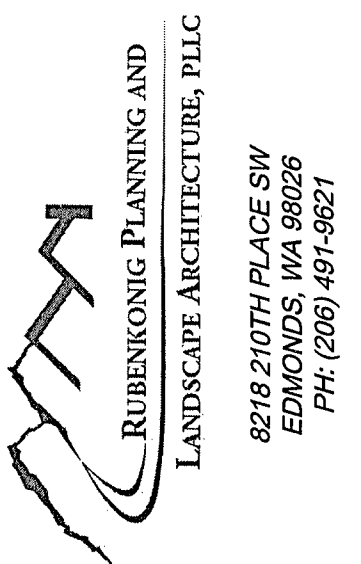
JAN 21 2016

BUILDING DEPARTMENT
CITY OF EDMONDS

BLD 2015-0962

WASHINGTON

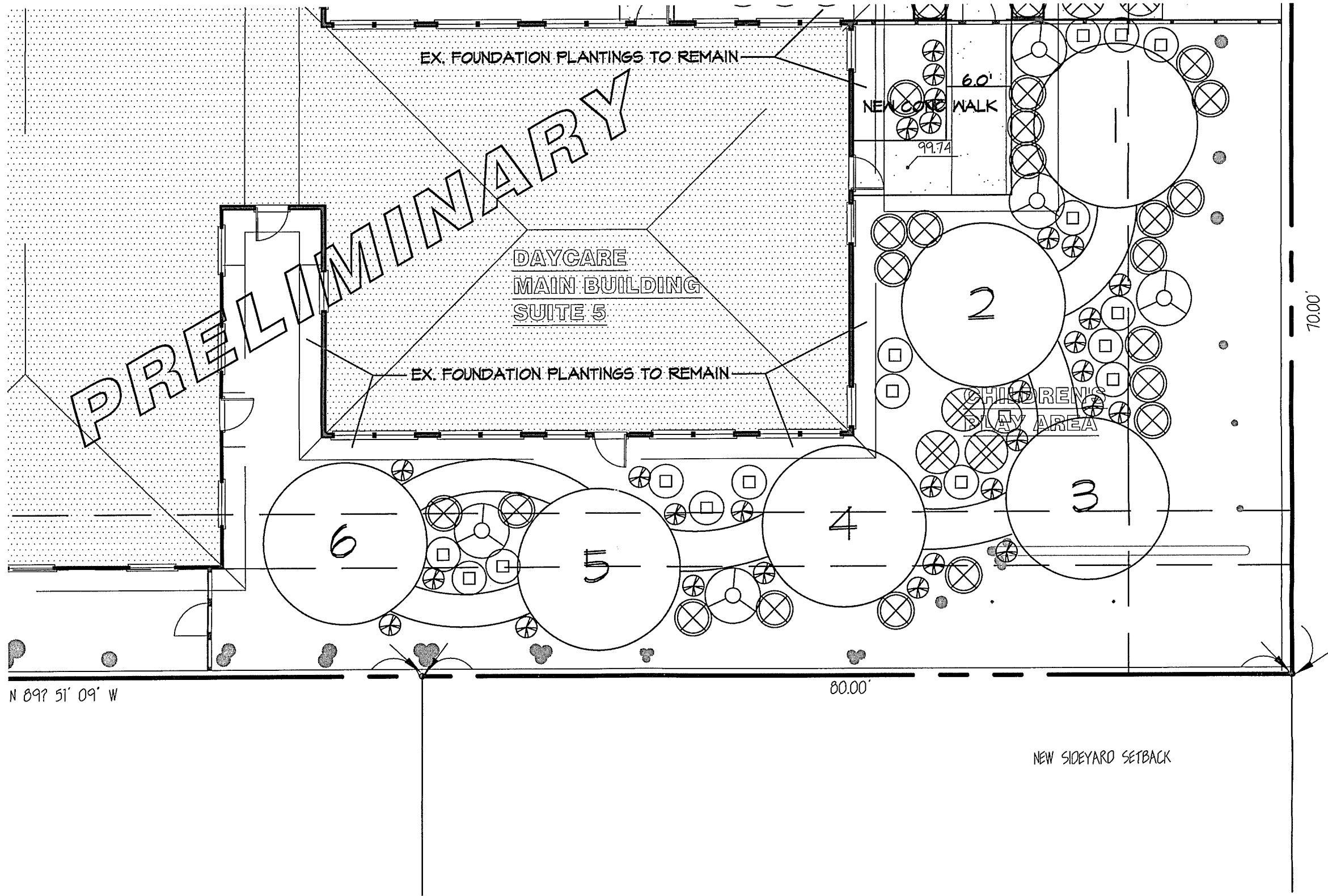
EDMONDS



JOB NUMBER **TRUCK STOP**

TRIKE STOP












L1 OF **5**



DETAILED PLAY AREA PLANTING PLAN

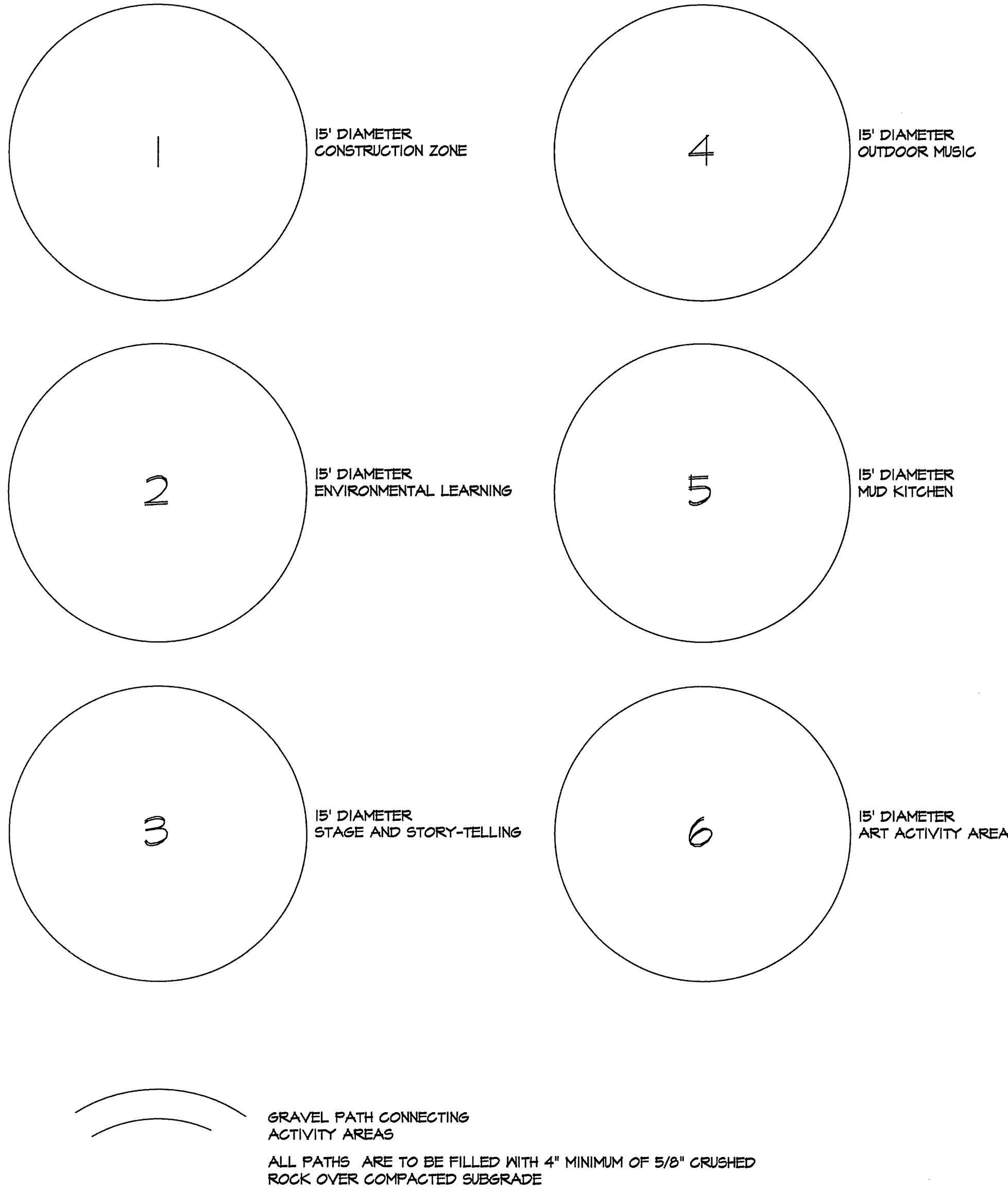
SCALE: 1" = 10'

LANDSCAPE PLANTING SCHEDULE

| SYMBOL | BOTANICAL and COMMON NAME | | SIZE | QUANTITY | SPACING |
|-------------------------------------------------------------------------------------|-----------------------------------|---------------------------|----------|----------|----------|
| SHRUBS | | | | | |
|  | ARBUTUS UNEDUM | DWARF STRAWBERRY TREE | MIN. 18" | 44 | AS SHOWN |
|  | CHOISYA TERNATA | MEXICAN ORANGE | MIN. 18" | 53 | AS SHOWN |
|  | ESCALLONIA FRADESII | ESCALLONIA | MIN. 18" | 33 | AS SHOWN |
|  | EUONYMUS ALATA | BURNING BUSH | MIN. 18" | 37 | AS SHOWN |
|  | HYDRANGEA MACROPHYLLA | BIG LEAF HYDRANGEA | MIN. 18" | 3 | AS SHOWN |
|  | MAHONIA AQUIFOLIUM 'COMPACTA' | COMPACT TALL OREGON GRAPE | MIN. 18" | 103 | AS SHOWN |
|  | PIERIS JAPONICA | JAPANESE PIERIS | MIN. 18" | 42 | AS SHOWN |
|  | PRUNUS LAUROCERASUS 'OTTO LUYKEN' | OTTO LUYKEN LAUREL | MIN. 18" | 75 | AS SHOWN |
|  | RIBES SANGUINEUM | RED FLOWERING CURRANT | MIN. 18" | 44 | AS SHOWN |
|  | SARCOCOCOA HOOKERIANA HUMILIS | SWEET BOX | MIN. 18" | 53 | AS SHOWN |
|  | VIBURNUM TINUS | 'SPRING BOUQUET' VIBURNUM | MIN. 18" | 45 | AS SHOWN |

GROUND COVER

| | | | | | |
|---------------|-------------|------------------|--------|-----|----------|
| (Hatched Box) | VINCA MINOR | DWARF PERIWINKLE | 6" POT | 280 | 12" O.C. |
|---------------|-------------|------------------|--------|-----|----------|



DETAILED ACTIVITY AREAS

SCALE: 1" = 5'

| NO. | DATE | REVISION | BY | CHK |
|-----|------|----------|----|-----|
| 1 | | | | |
| 2 | | | | |
| 3 | | | | |
| 4 | | | | |
| 5 | | | | |
| 6 | | | | |
| 7 | | | | |
| 8 | | | | |
| 9 | | | | |
| 10 | | | | |

| | |
|-----------------|--------------------------|
| DESIGN GROUP | JOHN E. RUBENKOWIG, ASLA |
| PROJECT MANAGER | JOHN E. RUBENKOWIG, ASLA |
| DESIGNED | AMB |
| CADD | AMB |
| CHECKED | JOHN E. RUBENKOWIG, ASLA |
| DATE | 1/20/16 |
| TRIKE LST.DWG | |
| FILE NAME | |

PLAY AREA IMPROVEMENT PLAN

MRS. AUTUMN SNOW

TRIKE STOP DAYCARE CENTER

23107 100TH AVENUE WEST

WASHINGTON

EDMONDS

RUBENKOWIG PLANNING AND LANDSCAPE ARCHITECTURE, PLLC

8218 210TH PLACE SW

EDMONDS, WA 98026

PH: (206) 491-9621

STATE OF WASHINGTON REGISTERED LANDSCAPE ARCHITECT

JOHN E. RUBENKOWIG

CERTIFICATE NO. 574

STAMP NOT VALID UNLESS SIGNED AND DATED

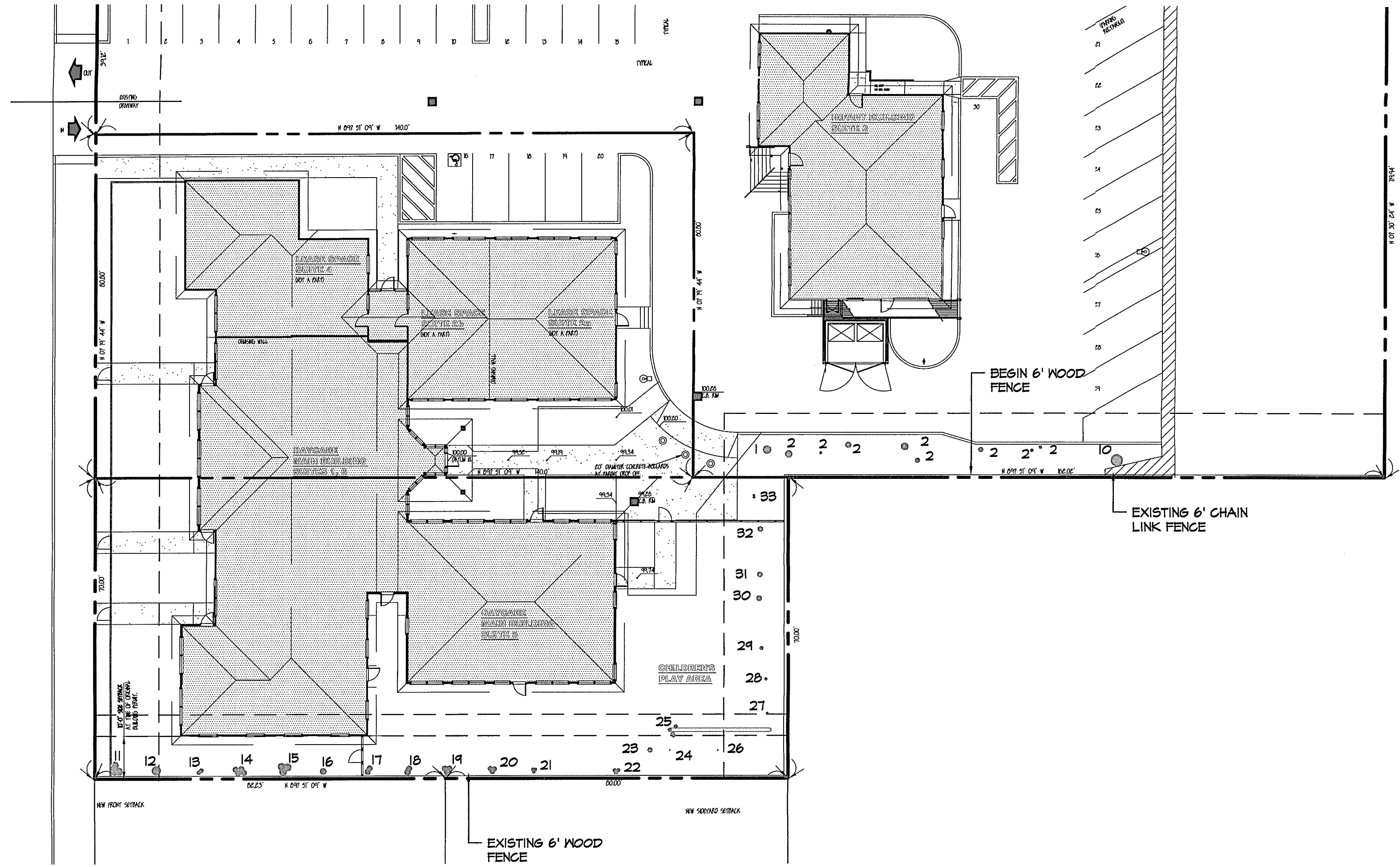
JOB NUMBER

TRIKE STOP

SHEET NUMBER

L3 OF 5

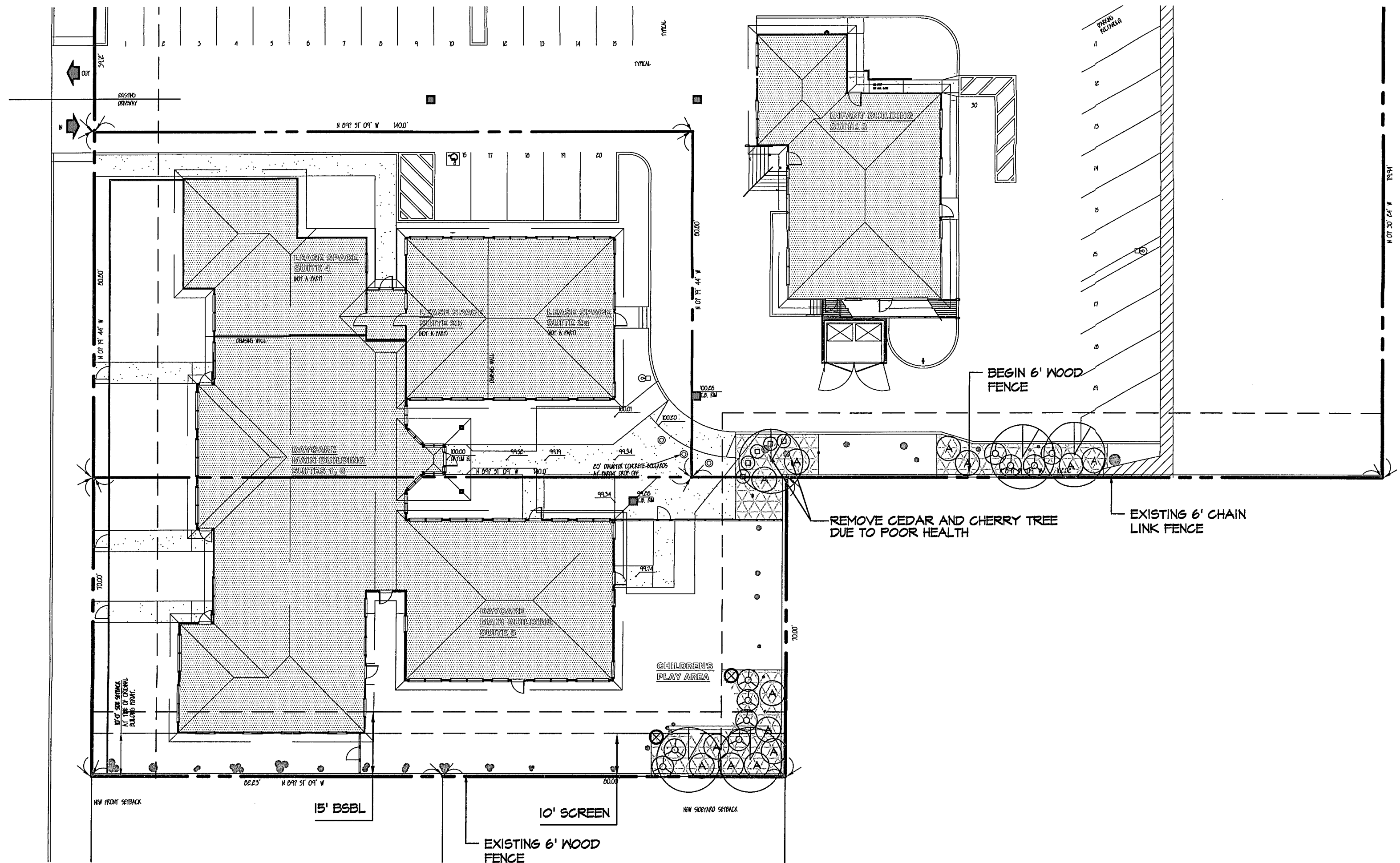
100TH AVENUE W.



EXISTING TREE SCREENING PLAN

SCALE: 1" = 20'

100TH AVENUE W.



NEW TREE SCREENING PLAN

SCALE: 1" = 20'

EXISTING TREE INVENTORY AT SOUTH PROPERTY LINE

| KEY # | DESCRIPTION | DISPOSITION |
|-------|----------------------------------------------|---------------------------------|
| 1 | 22" CALIPER W. RED CEDAR | UNHEALTHY - TO BE REMOVED (TBR) |
| 2 | 19" CHERRY | UNHEALTHY - TBR |
| 3 | 7" CALIPER W. RED CEDAR | TO REMAIN |
| 4 | 16" CALIPER W. RED CEDAR | TO REMAIN |
| 5 | 20" CALIPER W. RED CEDAR | TO REMAIN |
| 6 | 15" CALIPER W. RED CEDAR | TO REMAIN |
| 7 | 15" CALIPER W. RED CEDAR | TO REMAIN |
| 8 | 16" CALIPER W. RED CEDAR | TO REMAIN |
| 9 | 8" CALIPER CHERRY | TO REMAIN |
| 10 | 32" CALIPER DOUGLAS FIR | TO REMAIN |
| 11 | 5-20" CALIPER MULTI-TRUNK W. RED CEDAR | TO REMAIN |
| 12 | 24" CALIPER W. RED CEDAR | TO REMAIN |
| 13 | 2-11" CALIPER W. RED CEDAR | TO REMAIN |
| 14 | 4-15" CALIPER W. RED CEDAR | TO REMAIN |
| 15 | 3-20" CALIPER W. RED CEDAR | TO REMAIN |
| 16 | 17" CALIPER W. RED CEDAR | TO REMAIN |
| 17 | 2-15" CALIPER W. RED CEDAR | TO REMAIN |
| 18 | 2-16" CALIPER W. RED CEDAR | TO REMAIN |
| 19 | 3-15" CALIPER W. RED CEDAR | TO REMAIN |
| 20 | 3-15" CALIPER W. RED CEDAR | TO REMAIN |
| 21 | 3-6" TO 8" CALIPER W. RED CEDAR | TO REMAIN |
| 22 | 3-8" TO 10" CALIPER MULTI-TRUNK W. RED CEDAR | TO REMAIN |
| 23 | 15" CALIPER W. RED CEDAR | TO REMAIN |
| 24 | 1 1/2" EVERGREEN SHRUB | TO REMAIN |
| 25 | 5 MULTI-TRUNKED DECIDUOUS | TBR (DEAD & LAYING ON GROUND) |
| 26 | 2" CALIPER FLUM | TBR |
| 27 | 7" CALIPER W. RED CEDAR | TBR |
| 28 | 7" CALIPER W. RED CEDAR | TO REMAIN |
| 29 | 9 1/2" CALIPER W. RED CEDAR | TO REMAIN |
| 30 | 14" CALIPER W. RED CEDAR | TO REMAIN |
| 31 | 14" CALIPER W. RED CEDAR | TO REMAIN |
| 32 | 14" CALIPER W. RED CEDAR | TO REMAIN |
| 33 | 2-6" CALIPER W. RED CEDAR | TO REMAIN |

LANDSCAPE PLANTING SCHEDULE - REPLACEMENT TREES

| SYMBOL | BOTANICAL and COMMON NAME | SIZE | QUANTITY | SPACING |
|------------------------------------------------|----------------------------------------------------|-------------------------|----------|-------------------------|
| | ACER RUBRUM 'BOWHALL' BOWHALL RED MAPLE | 2" CAL. 10' MIN. HEIGHT | 5 | AS SHOWN |
| | ARBUTUS UNEDUM DWARF STRAWBERRY TREE | 5 GALLON | 13 | AS SHOWN |
| | FRUNSLAUROCERASUS 'OTTO LUYKEN' OTTO LUYKEN LAUREL | 3 GALLON | 5 | AS SHOWN |
| | VIBURNUM TINUS 'SPRING BOUQUET' VIBURNUM | 5 GALLON | 10 | AS SHOWN |
| | GAULTHERIA SHALLON SALAL | 1 GALLON POT | 300 | 24" O.C. ABOUT 1,100 SF |
| INFILL ON ALL SIDES OF NEW PLANTINGS AS SHOWN. | | | | |

PERIMETER SCREENING PLAN

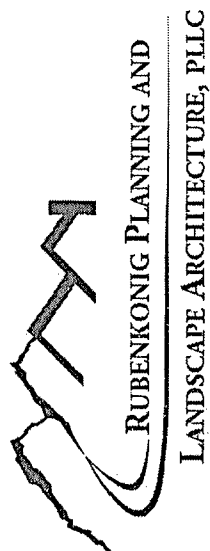
MRS. AUTUMN SNOW

TRIKE STOP DAYCARE CENTER

23107 100TH AVENUE WEST

WASHINGTON

EDMONDS



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L4 OF 5

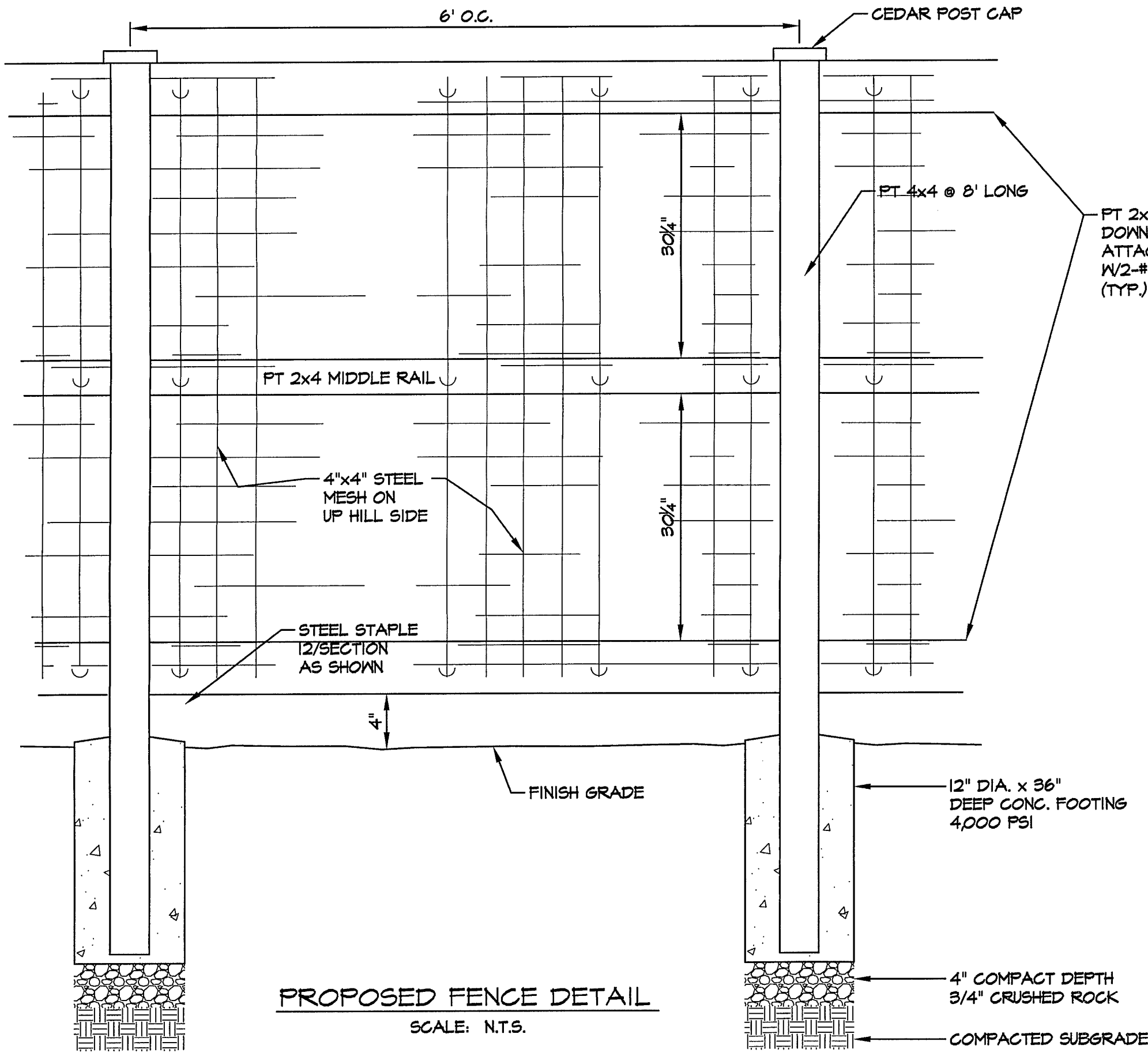
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JAN 21 2016

BUILDING DEPARTMENT
CITY OF EDMONDS

LANDSCAPE NOTES

1. ALL TECHNIQUES AND METHODS USED DURING CONSTRUCTION OF THE LANDSCAPE PORTION OF THIS PROJECT SHALL BE OF THE FIRST QUALITY AS COMPARED TO THE STANDARDS OF THE INDUSTRY. ALL ASPECTS OF THIS WORK WILL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE LANDSCAPE ARCHITECT AND CITY OF EDMONDS.
2. COORDINATE ALL WORK WITH OTHER CONTRACTORS ON SITE. THE LANDSCAPE CONTRACTOR SHALL OBTAIN ALL PERMITS NECESSARY FOR THAT PORTION OF THIS PROJECT.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL DEBRIS, RUBBISH AND EXCESS MATERIAL INCURRED BY THIS PROJECT.
4. DISCREPANCIES BETWEEN PLANS AND SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING.
5. VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO PLAN INSTALLATION. NO TREES SHALL BE PLANTED CLOSER THAN 5 FEET TO UNDERGROUND UTILITIES IF AT ALL POSSIBLE.
6. VERIFY EXISTING GRADING IN FIELD PRIOR TO CONSTRUCTION. IF CONDITIONS ARE OTHER THAN EXPECTED, CONTACT THE ARCHITECT IMMEDIATELY.
7. EXISTING TOPSOIL SHOULD BE STRIPPED FROM CONSTRUCTION LOCATIONS, SAFELY STORED ON SITE, AND REUSED IN PLANTING BED PREPARATION. AUGMENT WHERE NECESSARY WITH "STERCO", PACIFIC TOPSOILS WINTERMIX OR AN APPROVED EQUIVALENT. TILL THOROUGHLY INTO PLANTING BEDS AND LAWN AREAS FOR A MINIMUM DEPTH OF 6". REMOVE ROCKS AND DEBRIS LARGER THAN 1". SEE SOIL AMENDMENT NOTE BELOW.
8. COVER ALL TREE, SHRUB AND GROUND COVER PLANTING AREAS WITH A 3" MINIMUM THICKNESS OF MULCH.
9. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE LANDSCAPE PORTION OF THIS PROJECT DURING CONSTRUCTION AND FOR A MINIMUM OF 30 DAYS AFTER FINAL ACCEPTANCE. THIS WORK SHALL TAKE THE FORM OF WATERING WHERE NECESSARY, DEBRIS PICKUP, WEEDING AND ANY PRUNING NEEDED TO KEEP THE LANDSCAPE IN FIRST CLASS CONDITION.
10. ALL PLANT MATERIAL SHALL BE IN GOOD GROWING CONDITION AT THE TIME OF PLANTING AND SHALL BE GUARANTEED FOR ONE FULL YEAR OR UNTIL THE NEXT GROWING SEASON (WHICHEVER TIME PERIOD IS LONGER) AFTER FINAL ACCEPTANCE. ANY REPLACEMENT PLANT MATERIAL REQUIRED SHALL BE EXACTLY THE SAME AS ORIGINALLY SPECIFIED AS TO TYPE AND SIZE. THE CONTRACTOR SHALL RE-DO ANY TREE STAKING AS IS APPROPRIATE DURING THIS TIME PERIOD.
11. DIG, PACK, TRANSPORT AND HANDLE ALL PLANTS WITH CARE TO ENSURE PROTECTION FROM INJURY. STORE PLANTS IN THE MANNER NECESSARY TO ACCOMADATE THEIR HORTICULTURAL REQUIREMENTS. HEEL-IN PLANTS AND IRRIGATE AS NEEDED TO KEEP FROM DRYING OUT.
12. INSTALL APPROPRIATE TRANSPLANTER FERTILIZER TO ALL PLANTING PITS AS SPECIFIED BY MANUFACTURER.
13. STAKE ALL TREES AS SHOWN IN DETAIL.
14. THE CONTRACTOR IS RESPONSIBLE FOR WATERING ALL PLANTS TO ENSURE THEIR SURVIVAL UNTIL FINAL ACCEPTANCE AND/OR IRRIGATION SYSTEM HAS BEEN INSTALLED AND IS OPERATIONAL.



IRRIGATION NOTE:

THE DEVELOPER IS REQUIRED TO INSTALL IRRIGATION AND WILL CONTRACT WITH A DESIGN/BUILD IRRIGATION CONTRACTOR TO INSTALL THIS SYSTEM. THIS SYSTEM SHOULD BE IN OPERATION A MINIMUM OF 2 GROWING SEASONS.

TREE PROTECTION NOTE:

THE FOLLOWING TREE PROTECTION MEASURES SHALL BE TAKEN DURING CLEARING OR CONSTRUCTION:

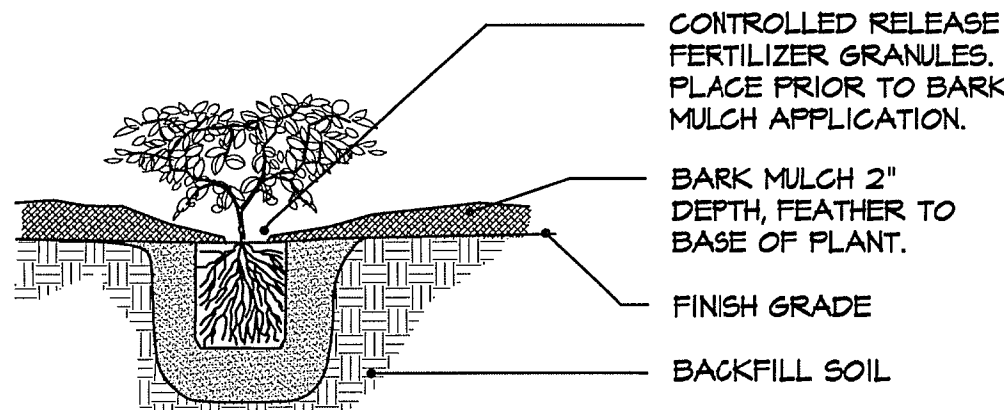
- (A) TREE PROTECTIVE FENCING SHALL BE INSTALLED ALONG THE OUTER EDGE OF THE DRIPLINE OF RETAINED TREES IN ORDER TO PROTECT THE TREES DURING ANY LAND DISTURBANCE ACTIVITIES AND FENCING SHALL NOT BE MOVED TO FACILITATE GRADING OR OTHER CONSTRUCTION ACTIVITY WITHIN THE PROTECTED AREA.
- (B) TREE PROTECTIVE FENCING SHALL BE A MINIMUM HEIGHT OF 3 FEET, VISIBLE AND OF DURABLE CONSTRUCTION, ORANGE POLYETHYLENE LAMINAR FENCING IS ACCEPTABLE, AND
- (C) SIGNS MUST BE POSTED ON THE FENCE READING "TREE PROTECTION AREA".

GENERAL LANDSCAPE REQUIREMENTS:

ALL LANDSCAPE MATERIALS SHALL MEET OR EXCEED CURRENT UNITED STATES STANDARDS FOR NURSERY STOCK PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION AND CONSIST OF NATIVE SPECIES. THE APPLICANT SHALL USE A LIST OF ACCEPTABLE SPECIES PREPARED BY THE DIRECTOR OR MAY SUBSTITUTE A SPECIES WITH SIMILAR CHARACTERISTICS NOT ON THE LIST WITH THE DIRECTOR'S APPROVAL.

CITY OF EDMONDS CONSTRUCTION STANDARDS

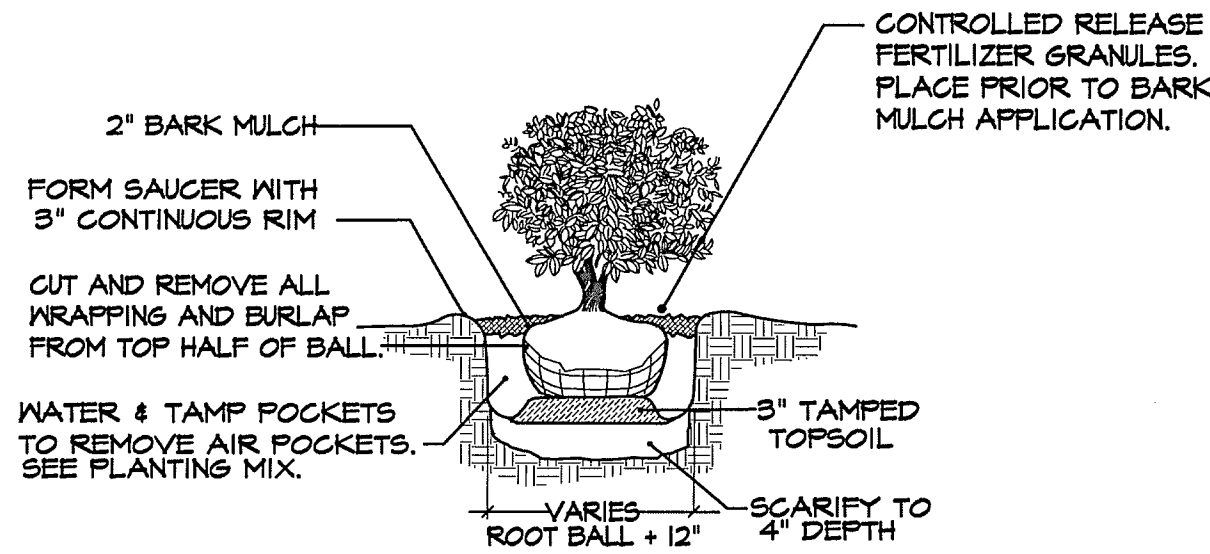
| | |
|------------------------|--------------------|
| CONCRETE VERTICAL CURB | STD. DWS. E 2.10 |
| CONCRETE SIDEWALK | STD. DWS. E 2.13 |
| DRIVEWAY RAMP | STD. DWS. E 2.27.2 |



NOTE: SEE PLANTING PATTERN

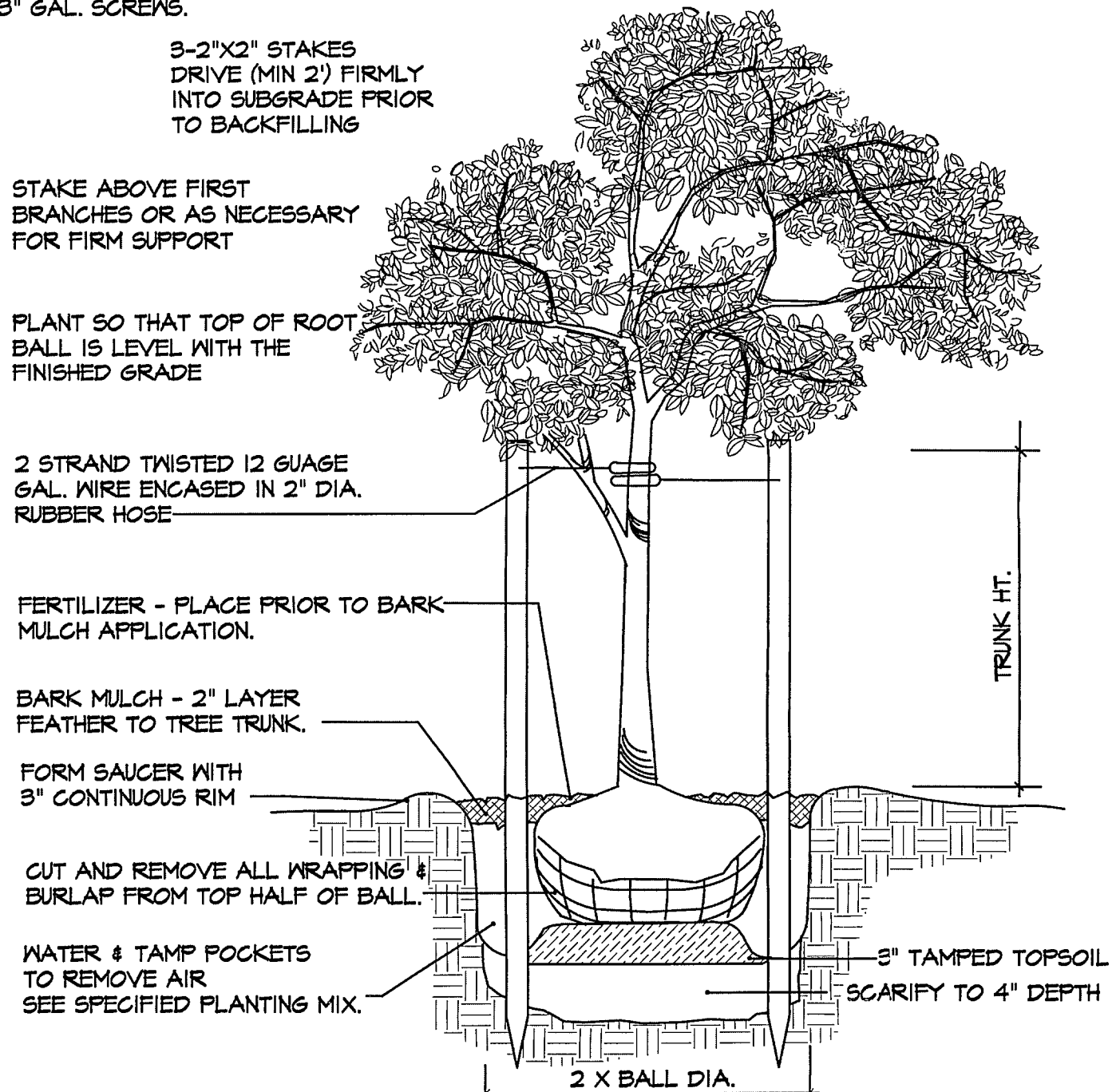
GROUND COVER PLANTING

NO SCALE



SHRUB PLANTING

NO SCALE



DECIDUOUS TREE STAKING DETAIL

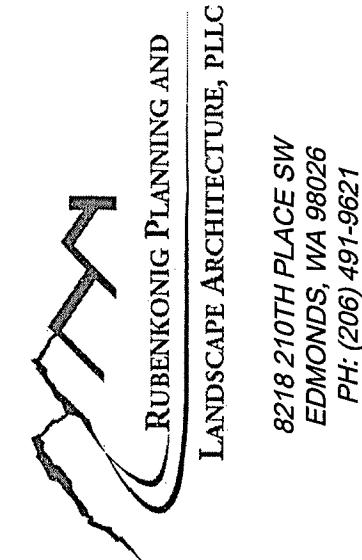
NO SCALE

DETAILS & NOTES

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